



Cleveland Landmarks Commission

Thursday, January 14, 2021

**** PLEASE MUTE YOUR MICROPHONE ****

Julie Trott, Commission Chair
Donald Petit, Secretary

Cleveland Landmarks Commission

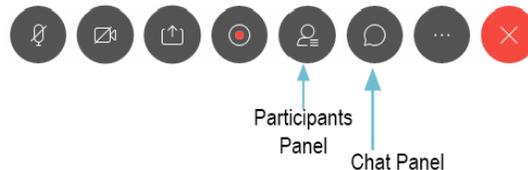
Preamble

IN COMPLIANCE WITH NOTIFICATION REQUIREMENTS OF OHIO'S OPEN MEETING LAW, UNDER COVID-19 EMERGENCY DECLARATION, NOTICE OF THIS MEETING HAS BEEN PUBLICLY POSTED.

ALL BOARDS AND COMMISSIONS UNDER THE PURVIEW OF THE CITY PLANNING DEPARTMENT CONDUCTS ITS MEETINGS ACCORDING TO ROBERT'S RULES OF ORDER. ACTIONS DURING THE MEETING WILL BE TAKEN BY VOICE VOTE. ABSTENTIONS FROM ANY VOTE DUE TO A CONFLICT OF INTEREST SHOULD BE STATED FOR THE RECORD PRIOR TO THE TAKING OF ANY VOTE.

IN ORDER TO ENSURE THAT EVERYONE PARTICIPATING IN THE MEETING HAVE THE OPPORTUNITY TO BE HEARD, WE ASK THAT YOU USE THE RAISE HAND FEATURE BEFORE ASKING A QUESTION OR MAKING A COMMENT. THE RAISE HAND FEATURE CAN BE FOUND IN THE PARTICIPANTS PANEL ON THE DESKTOP AND MOBILE VERSION AND ACTIVATED BY CLICKING THE HAND ICON. PLEASE WAIT FOR THE CHAIR OR FACILITATOR TO RECOGNIZE YOU AND BE SURE TO SELECT UNMUTE AND ANNOUNCE YOURSELF BEFORE YOU SPEAK. WHEN FINISHED SPEAKING, PLEASE LOWER YOUR HAND BY CLICKING ON THE RAISE HAND ICON AGAIN AND MUTE YOUR MICROPHONE.

WE WILL ALSO BE UTILIZING THE CHAT FEATURE TO COMMUNICATE WITH PARTICIPANTS. THE CHAT FEATURE CAN BE ACTIVATED BY CLICKING THE CHAT BUTTON LOCATED ON THE BOTTOM OF THE WEBEX SCREEN.



January 14, 2021

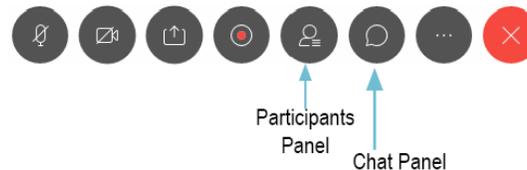
Cleveland Landmarks Commission

Preamble

**ALL MEETING ACTIVITY IS BEING RECORDED VIA THE WEBEX PLATFORM.
THESE PROCEEDINGS ARE ALSO BEING LIVE STREAMED VIA YOUTUBE.**

**WE HAVE PROVIDED A LINK TO THE MEETING FOR THOSE WHO WISH TO SPEAK ON A
PARTICULAR CASE VIA OUR WEBSITE AND EMAIL.**

**WE HAVE ALSO RECEIVED EMAILS FROM THOSE WHO HAVE PROVIDED WRITTEN
COMMENT ON A PARTICULAR MATTER.**



January 14, 2021

Cleveland Landmarks Commission

Call to Order & Roll Call



January 14, 2021

Cleveland Landmarks Commission

Public Hearing



January 14, 2021

January 14, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Public Hearing Action



January 14, 2021

January 14, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Certificates of Appropriateness



January 14, 2021



January 14, 2021

Case 18-037: Ohio City Historic District (Approved 8-9-2018)

Dexter Place Apartments 2800 Franklin Boulevard

Landscaping and Signage

Ward 3: McCormack

Project Representatives: Ted Singer, Dimit Architects; Mike Grable, Kolby Turnock, Casto



LOW SUMAC



MAIDEN GRASS



KARL FOERSTER GRASS



ARBORVITAE



RED MAPLE



PERVIOUS PAVERS



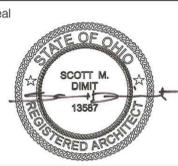
ASPHALT



CONCRETE (MIN. 0.33 SRI)

KEY

- LAWN (Kentucky Bluegrass)
- GROUND COVER (Low Sumac)
- CONCRETE (High Albedo)
- PERVIOUS PAVERS
- ASPHALT
- ARBORVITAE
- RED MAPLE (2" Caliper)
- ORNAMENTAL 1 (Maiden Grasses)
- ORNAMENTAL 2 (Karl Foster Grass)



General Notes:

ISSUES:	Date:	By:
PERMIT ISSUE	01-21-19	SMD
PERMIT RESPONSE	04-16-19	SMD
FOR CONSTRUCTION	05-31-19	SMD
REV-1	08-01-19	TS
REV-2	01-09-20	TS
REV-3	05-12-20	TS
REV-4	07-02-20	TS
REV-5	08-11-20	TS

DIMIT ARCHITECTS
 architecture + interiors + urban design
 14414 Detroit Ave., #306
 Lakewood, Ohio 44107
 216-221-9021



DEXTER PLACE APARTMENTS

1578 W. 28th St.
Cleveland, Ohio 44113

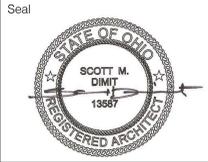
ARCHITECTURAL SITE PLAN

Date:	06-29-2020	Project:	18-015
Drawn by:	AND, TS	Drawn Number:	AS-01
Checked by:	SMD, GAO	Approved:	SMD



1 ARCHITECTURAL SITE PLAN
SCALE: 1/16" = 1'-0"





General Notes:

Issues:	Date:	By:
PERMIT ISSUE	01-21-19	SMD
PERMIT RESPONSE	04-16-19	SMD
FOR CONSTRUCTION	05-31-19	SMD
REV-1	08-01-19	TS
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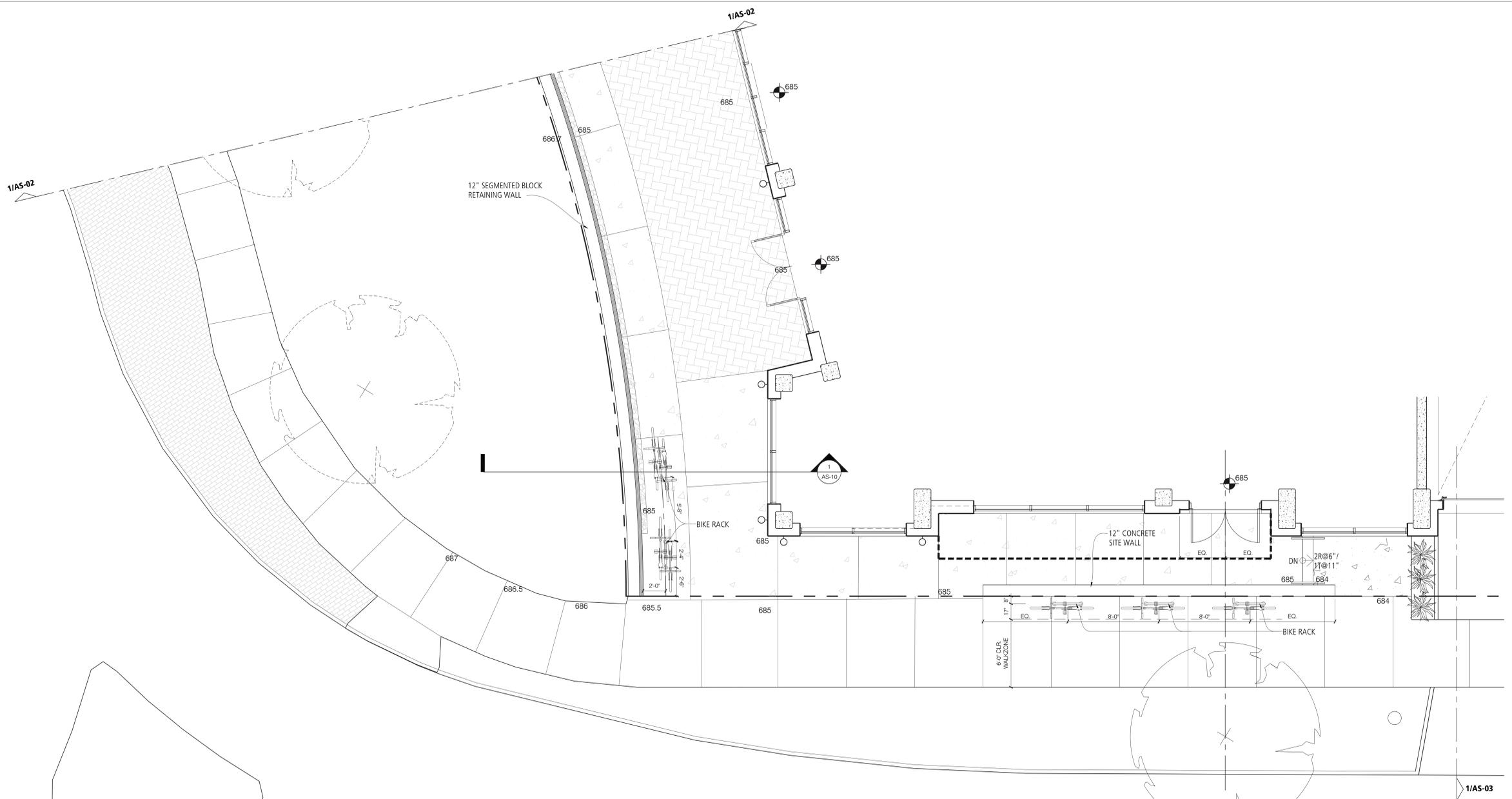


DEXTER PLACE APARTMENTS

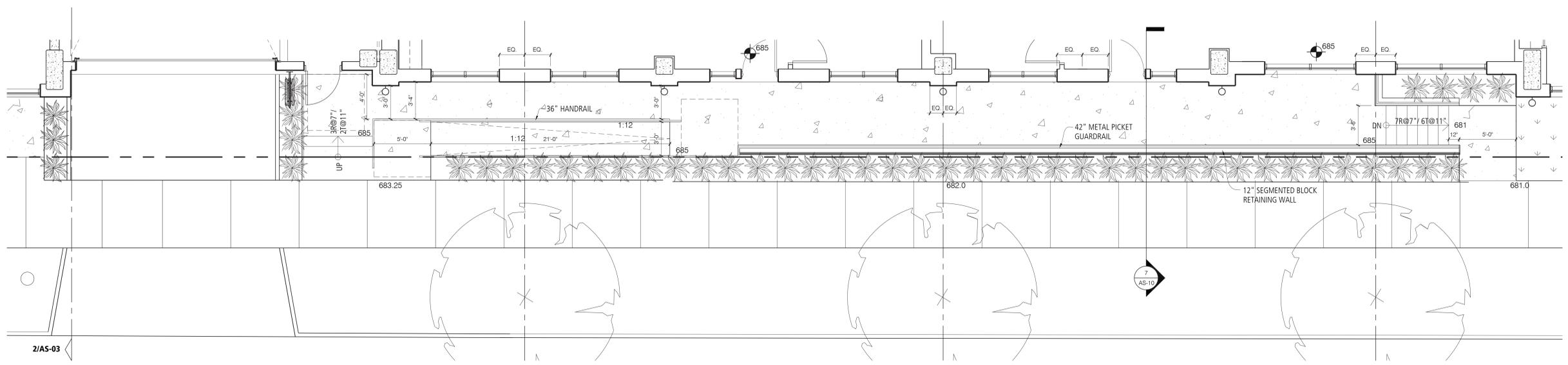
1578 w. 28th St.
 Cleveland, Ohio 44113

Drawing Title
ARCHITECTURAL SITE PLAN

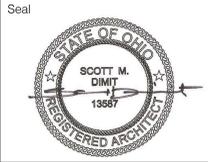
Date	06-29-2020	Project	18-015
Drawn By	AND, TS	Drawing Number	AS-03
Checked By	SMD, GAO	Approved	SMD
File Name:			



2 ENLARGED SITE PLAN - LINER UNIT PATIO
 SCALE: 1/4" = 1'-0"



1 ENLARGED SITE PLAN - LINER UNIT PATIO
 SCALE: 1/4" = 1'-0"



General Notes:

Issues:	Date:	By:
PERMIT ISSUE	01-21-19	SMD
PERMIT RESPONSE	04-16-19	SMD
FOR CONSTRUCTION	05-31-19	SMD
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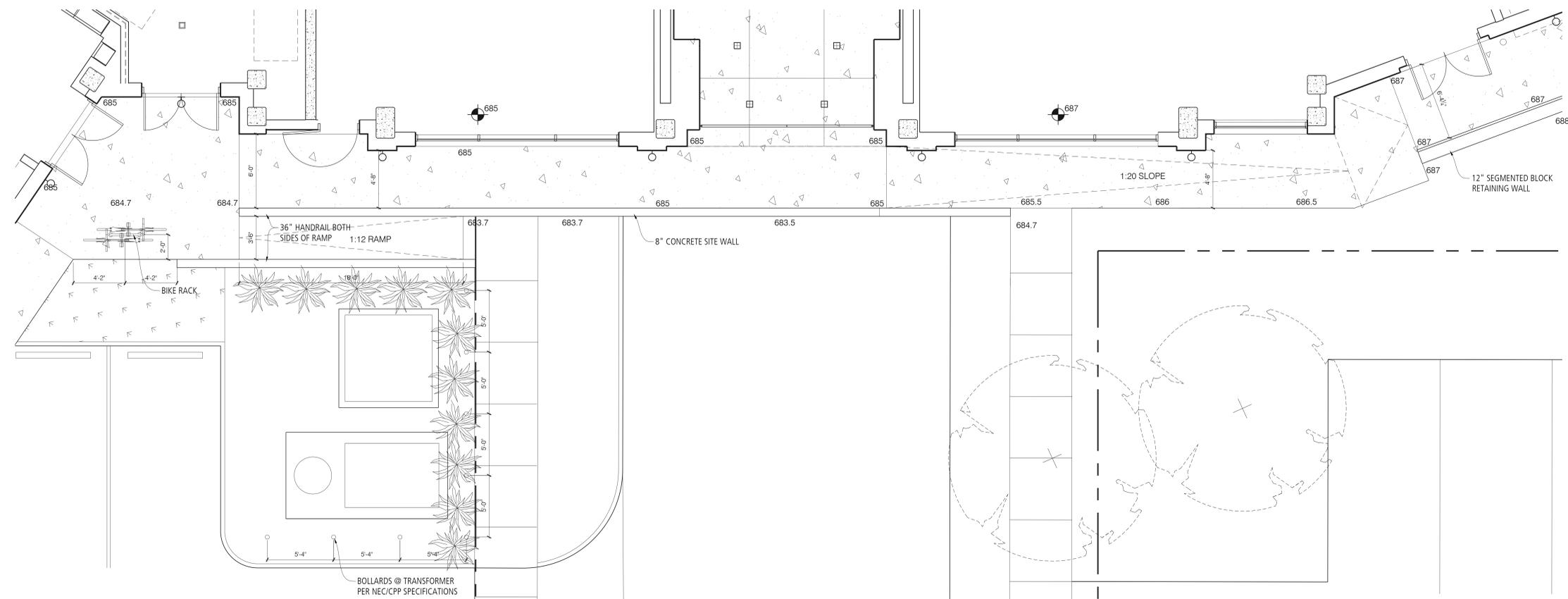


DEXTER PLACE APARTMENTS

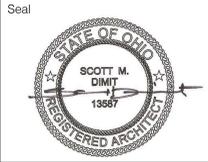
1578 w. 28th St.
 Cleveland, Ohio 44113

Architectural Title
ARCHITECTURAL SITE PLAN

Date	Project
06-29-2020	18-015
Drawn By AND.TS	Drawing Number AS-04
Checked By SMD.GAO	
Approved SMD	



1 ENLARGED SITE PLAN - DEXTER TERMINOUS
 SCALE: 1/4" = 1'-0"



General Notes:

Issues:	Date:	By:
PERMIT ISSUE	01-21-19	SMD
PERMIT RESPONSE	04-16-19	SMD
FOR CONSTRUCTION	05-31-19	SMD
REV-1	08-01-19	TS
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REV-5	09-11-20	TS

DIMIT ARCHITECTS
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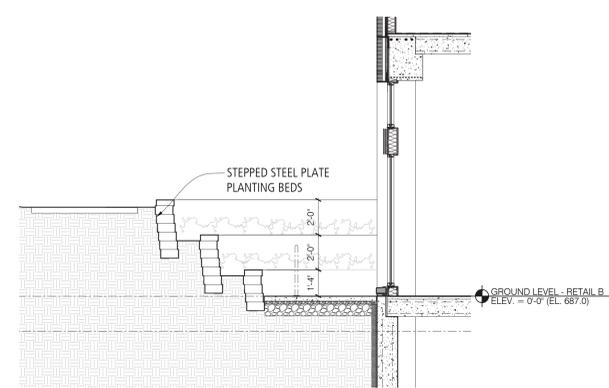


DEXTER PLACE APARTMENTS

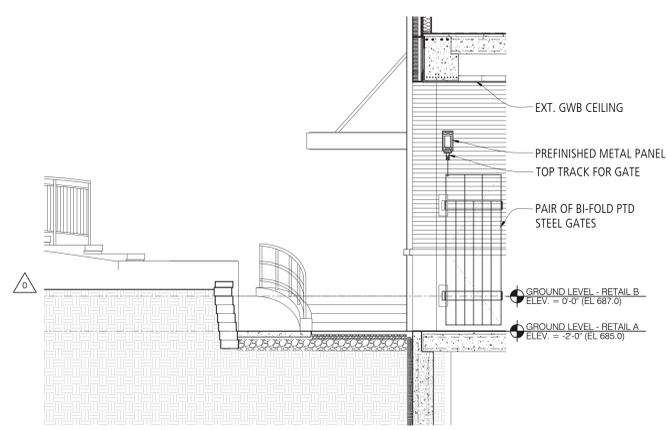
1578 w. 28th St.
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Architectural Site Sections

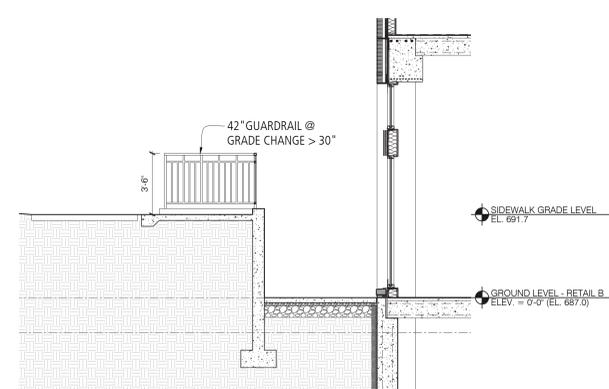
Date: 06-29-2020	Project: 18-015
Drawn by: AND, TS	Drawing Number: AS-10
Checked by: SMD, GAO	
Approved: SMD	



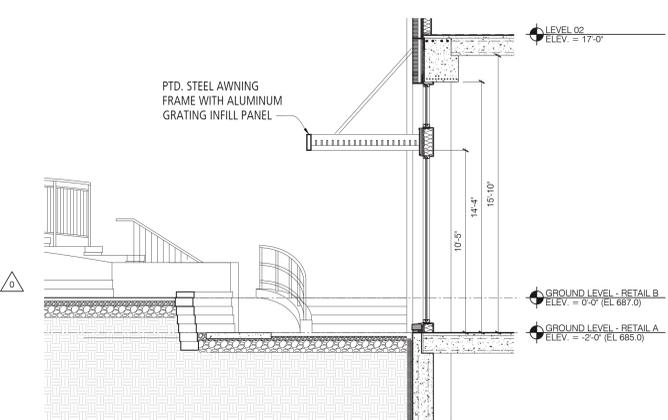
5 SITE SECTION @ FITNESS RM.
 SCALE: 1/4" = 1'-0"



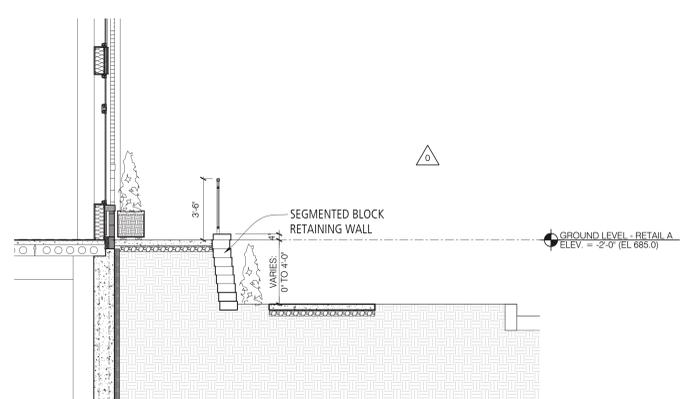
3 SITE SECTION @ PED. PASS THRU
 SCALE: 1/4" = 1'-0"



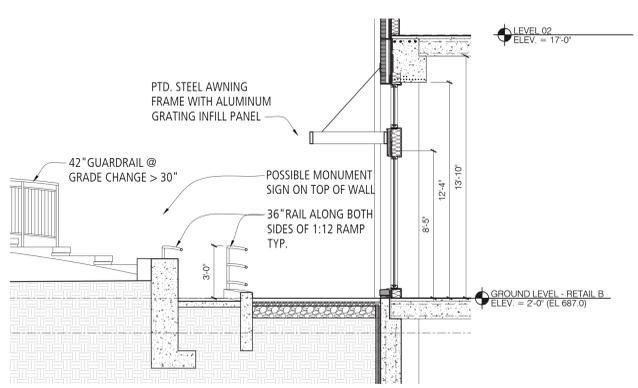
5 SITE SECTION @ FITNESS RM.
 SCALE: 1/4" = 1'-0"



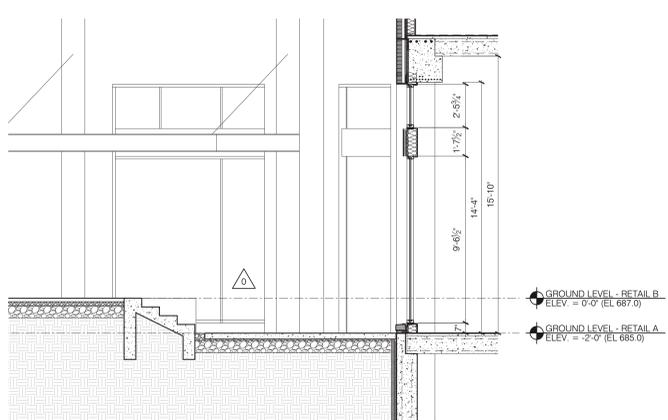
2 SITE SECTION @ RETAIL "A"
 SCALE: 1/4" = 1'-0"



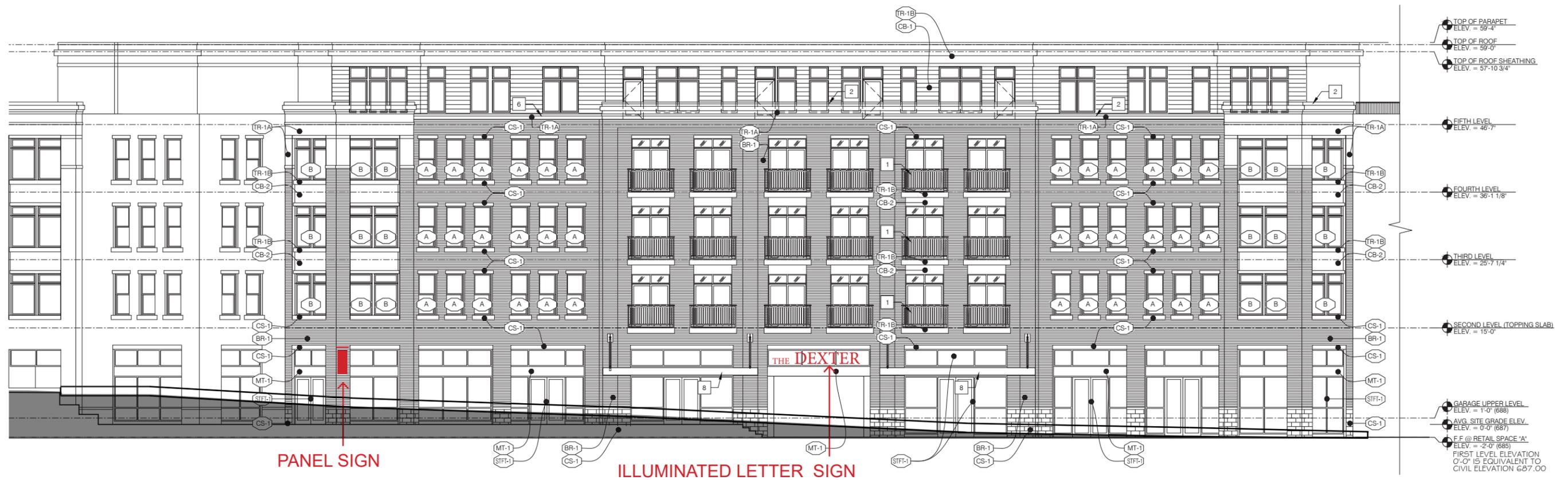
6 SITE SECTION @ LINER UNITS
 SCALE: 1/4" = 1'-0"



4 SITE SECTION @ RETAIL "B"
 SCALE: 1/4" = 1'-0"



1 SITE SECTION @ RETAIL "A"
 SCALE: 1/4" = 1'-0"





12"X18" CAST BRONZE WALL PLAQUE



6" PIN MOUNTED SATIN BRASS LETTER



WALL PLAQUE

NON-ILLUMINATED LETTER SIGN



EXAMPLE PHOTO



PANEL SIGN

PANEL SIGN AT W/ 28TH



PANEL SIGN AT LOBBY ENTRY



VIEW FROM FRANKLIN CIRCLE LOOKING NORTH



LOBBY ENTRY FROM WEST - PANEL SIGN



VIEW FROM LOBBY STOREFRONT LOOKING SOUTHWEST - PANEL SIGN



NEON STYLE - LED



TRADITIONAL FACE LIT



TRADITIONAL NEON

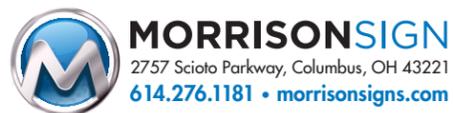


BACK-LIT





12"x18" CAST BRONZE WALL PLAQUE



Client: Curv
Project Name: Dexter

Drawing Date: 12-04-20
Drawing #: 20-840 SP: DM D: AW



This sign is intended to be installed in accordance of article 600 of the National Electric Code and or other applicable local codes. This includes proper grounding and bonding of the sign.

Copy, colors, size, quantity

APPROVAL:

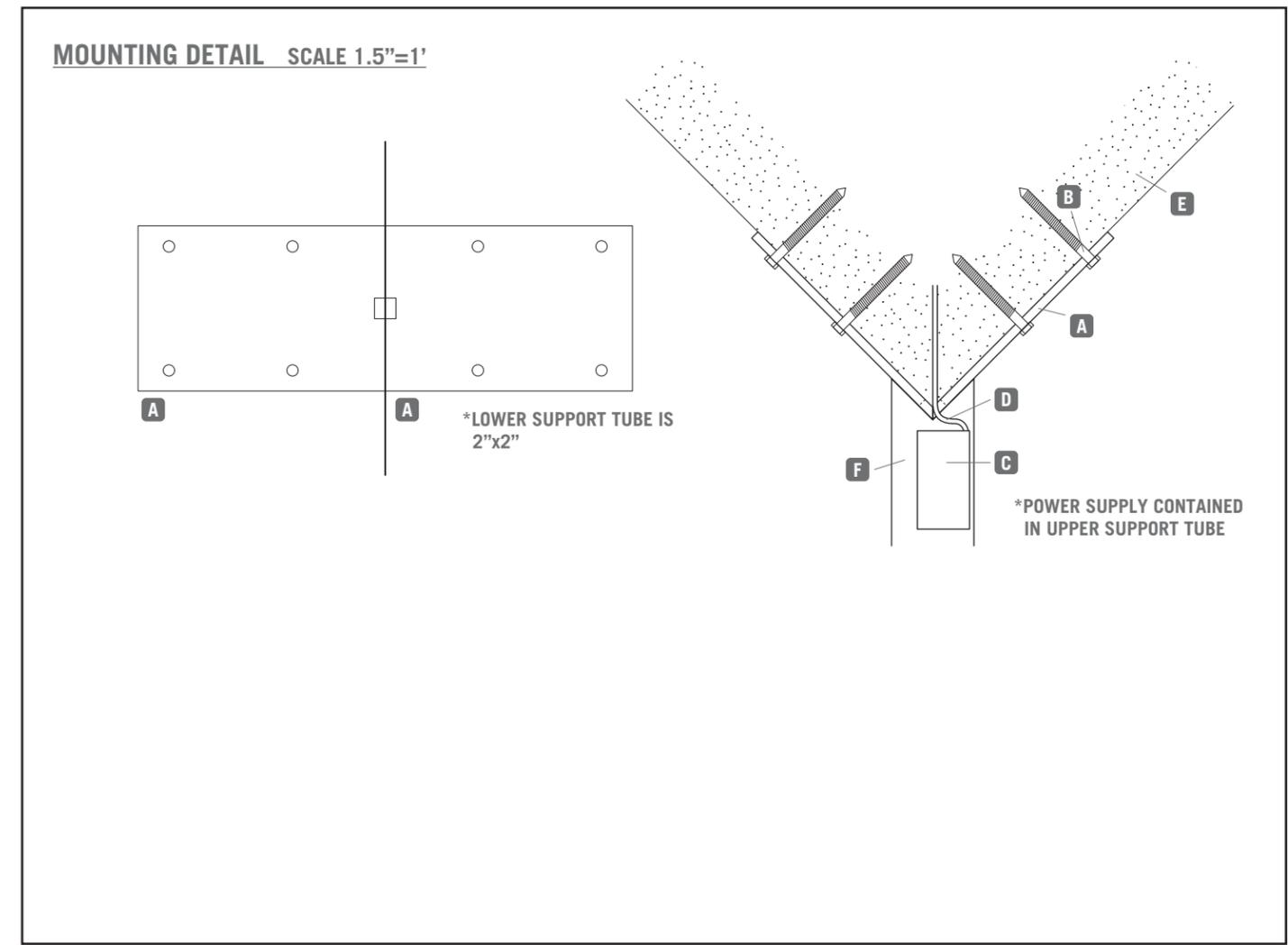
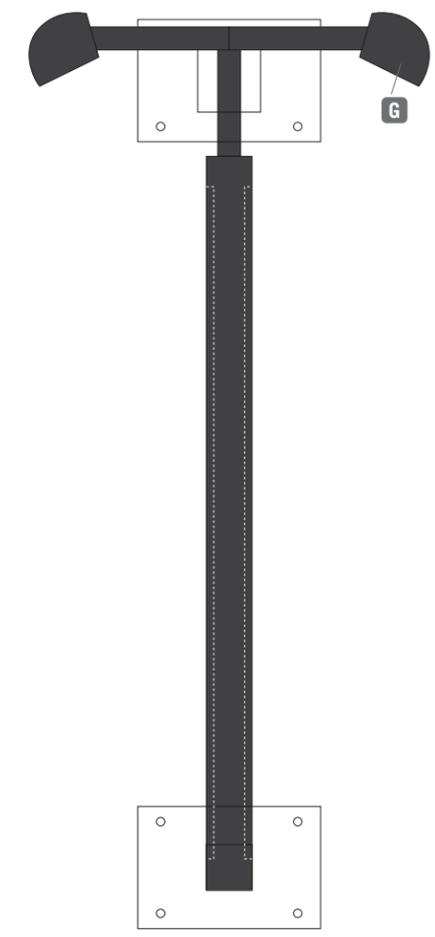
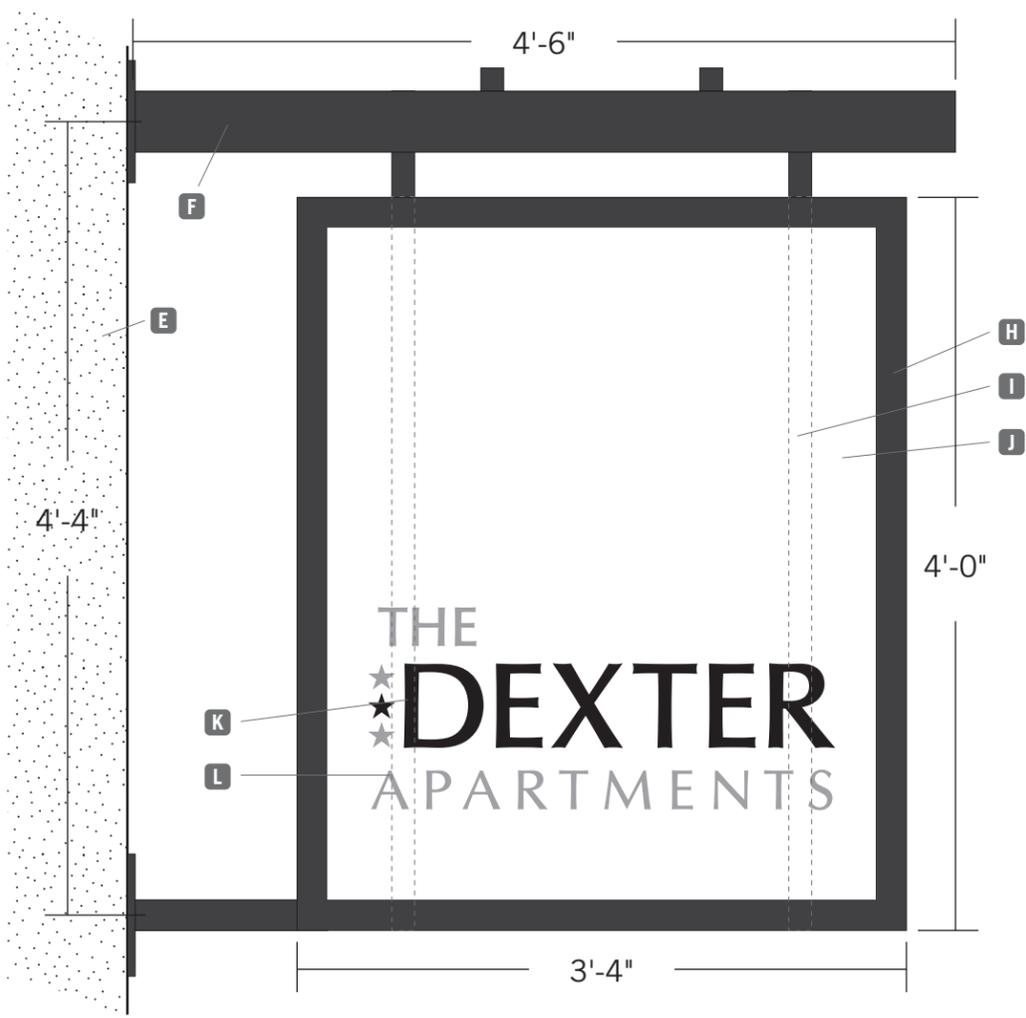
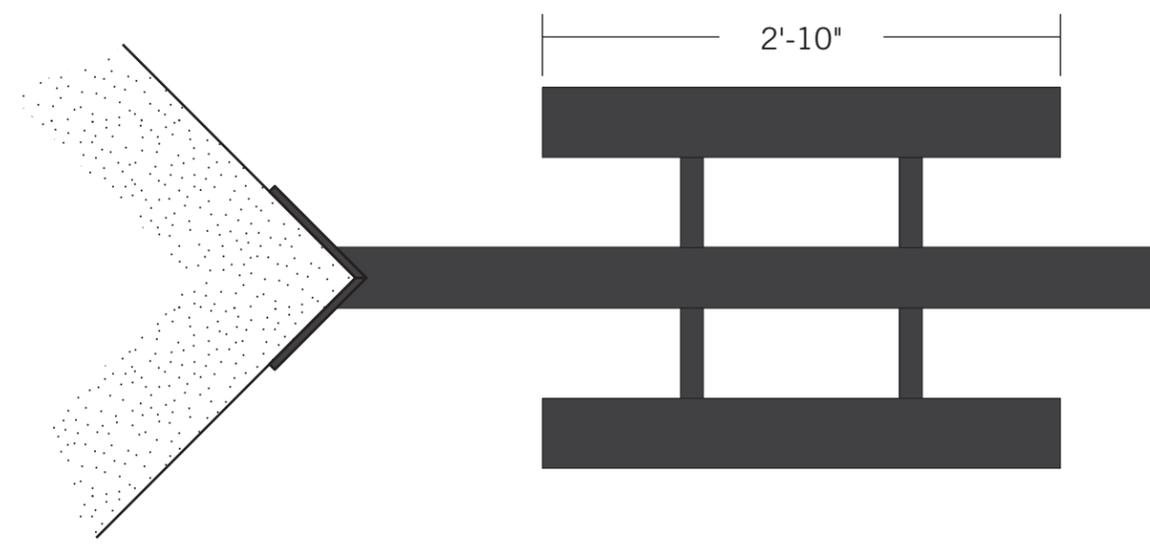
Client Signature: _____ Date: _____

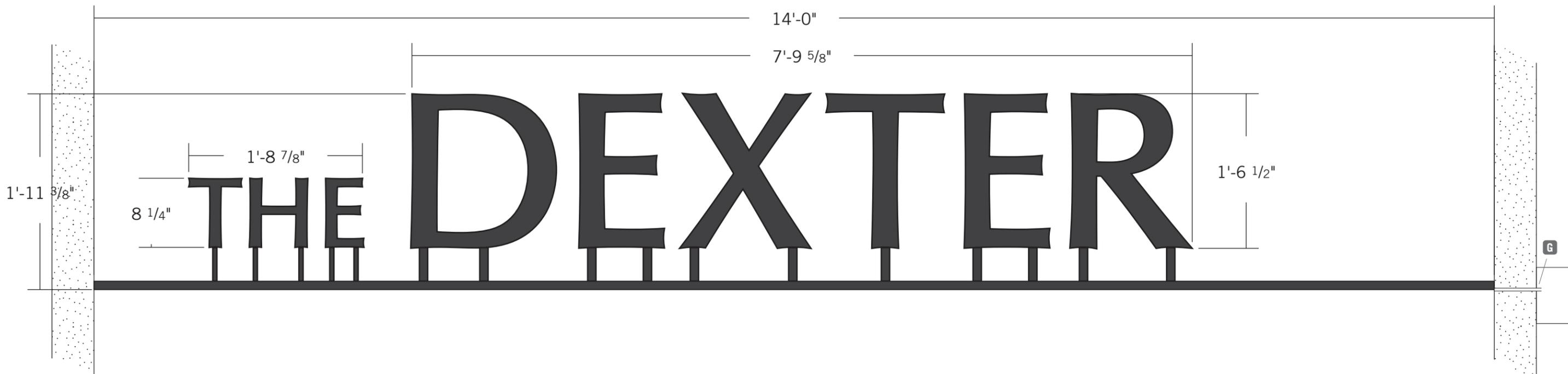
Building Attachment #2:

Blade Sign @ Lobby Entry

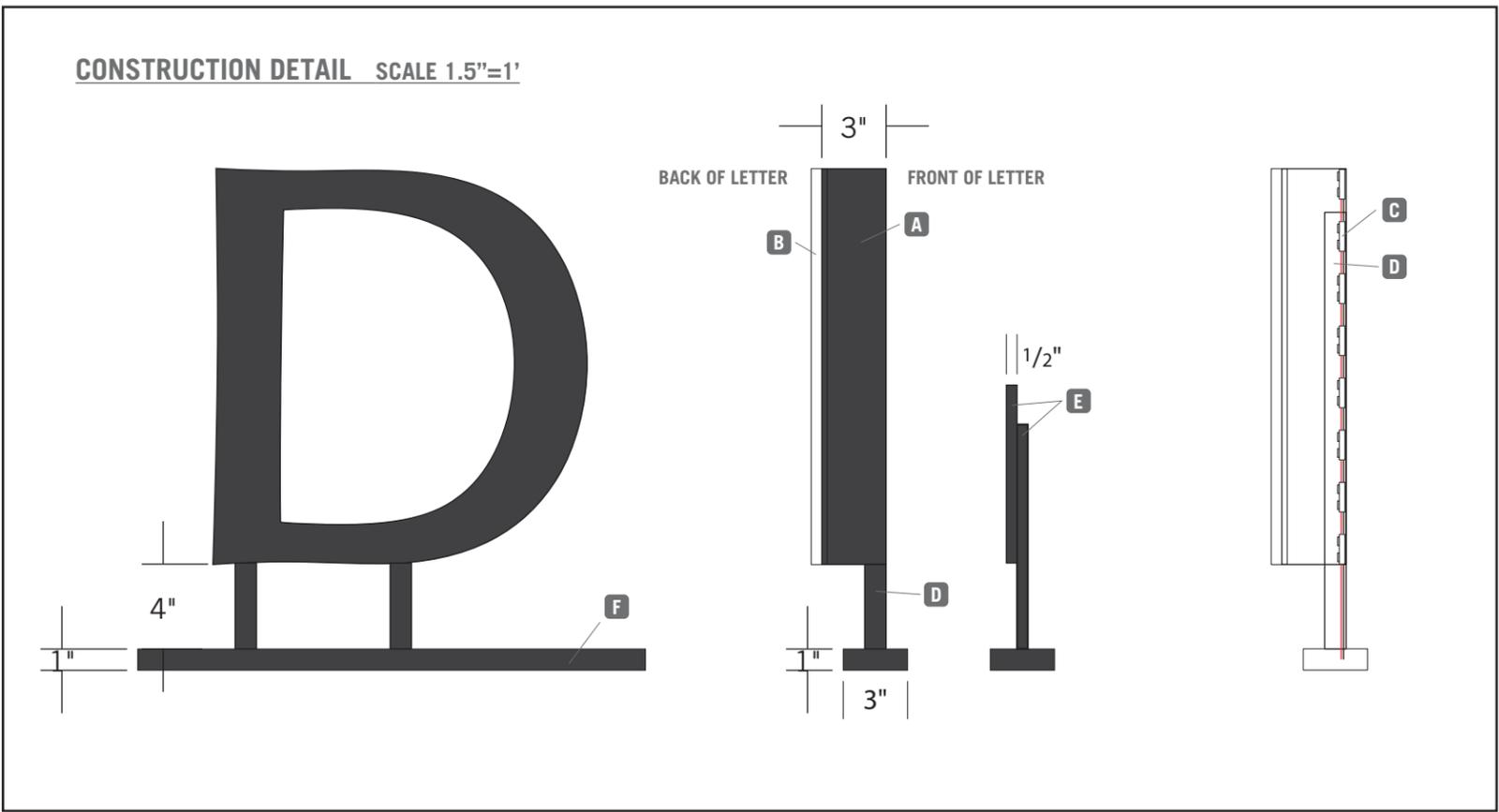
PROJECTING SIGNS DETAIL SCALE 1"=1'

- A 12" x 8" x 1/2" ALUMINUM MOUNTING PLATES
- B 1/2" x 5" SIMPSON STRONG TIES WITH HILTI EPOXY
- C POWER SUPPLY
- D 120V/20A GROUNDED WALL PASS-THRU
- E BRICK WALL
- F 4" x 4" x 1/4" WALL TUBE
- G CUSTOM LED LIGHTING
- H 2" x 3" ALUMINUM TUBING FRAME
- I 1.5" x 1.5" ALUMINUM TUBE
- J 1/8" ACM PANELS RECESSED 1/4"
- K 3/8" ACRYLIC 'DEXTER' LETTERING PAINTED BLACK
- L APPLIED CUT VINYL GRAPHICS





CONSTRUCTION DETAIL SCALE 1.5"=1'



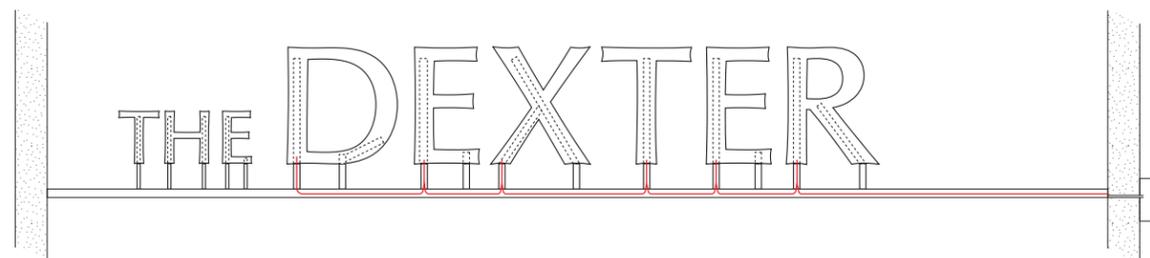
PROJECTING SIGNS DETAIL SCALE 1"=1'

- A** 3" DEEP CHANNEL LETTERS PAINTED BLACK
- B** 3/4" CLEAR ACRYLIC BACKS
- C** WHITE LED LIGHTS
- D** 1" TUBE PAINTED BLACK
- E** 1/2" SOLID ALUMINUM PAINTED BLACK
- F** 2" x 3" TUBE
- G** LOW VOLTAGE THROUGH BRICK INTO POWER SUPPLY CONCEALED ABOVE INTERIOR CEILING GRID

2"x3" TUBE MOUNTED TO EXISTING BEAM WITH MIN. (6) 3/8" GRADE 8 BOLTS & NUTS



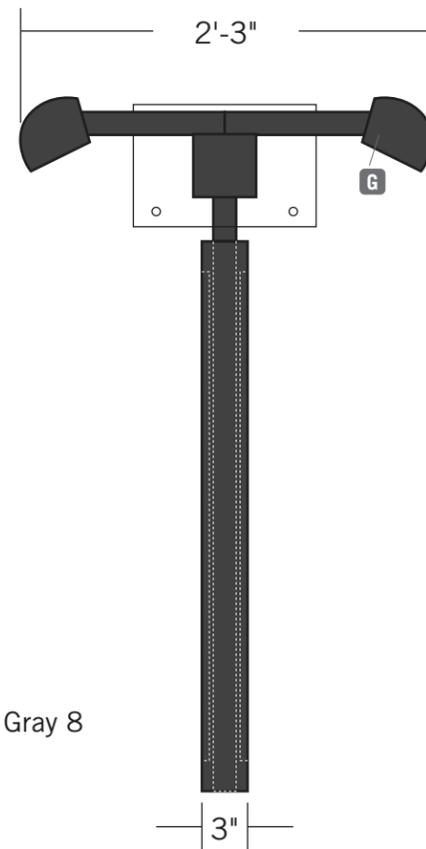
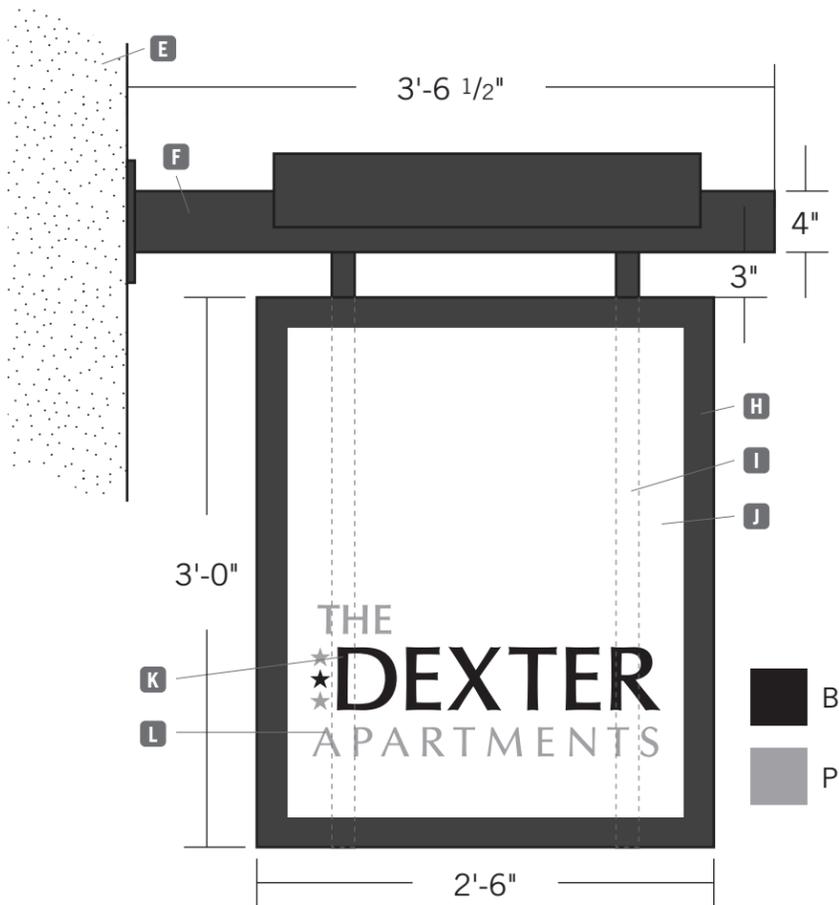
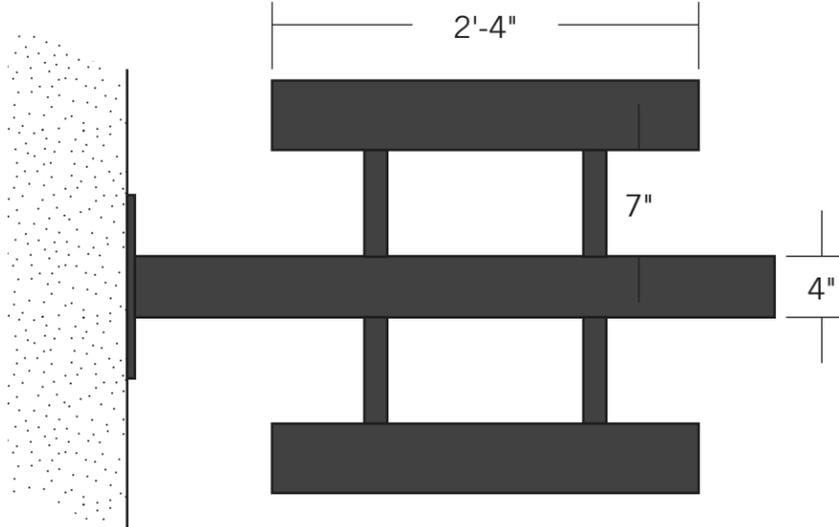
STRUCTURAL SUPPORT & ELECTRICAL DETAIL



NIGHT VIEW



Building Attachment #1:

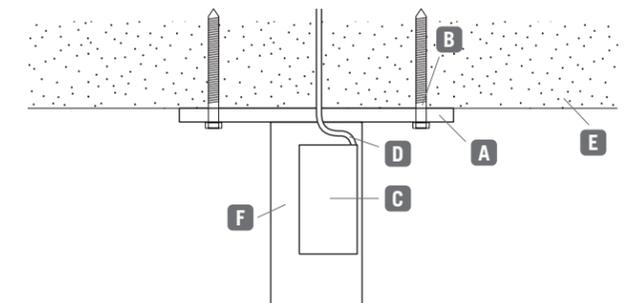
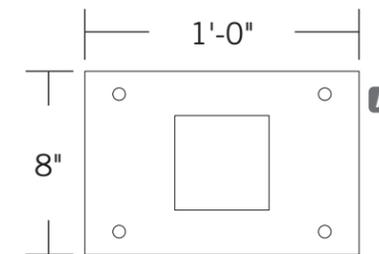


Blade Sign @ w. 28th St.

PROJECTING SIGNS DETAIL SCALE 1"=1'

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- B 1/2" x 5" SIMPSON STRONG TIES WITH HILTI EPOXY
- C POWER SUPPLY
- D 120V/20A GROUNDED WALL PASS-THRU
- E BRICK WALL
- F 4" x 4" x 1/4" WALL TUBE
- G CUSTOM LED LIGHTING
- H 2" x 3" ALUMINUM TUBING FRAME
- I 1.5" x 1.5" ALUMINUM TUBE
- J 1/8" ACM PANELS RECESSED 1/4"
- K 3/8" ACRYLIC 'DEXTER' LETTERING PAINTED BLACK
- L APPLIED CUT VINYL GRAPHICS

MOUNTING DETAIL SCALE 1.5"=1'



Cleveland Landmarks Commission

Design Review



January 14, 2021

**Ohio City Historic District
Design Review Committee
(Advisory committee to the [Landmarks Commission](#))
Certificate of Appropriateness Review**

Date: 12-17-2020

File Number: 121720-1

Building / Project Name: Dexter Place landscape and exterior signage

Property Address: Franklin Circle

Property Owner:

Presenters: Mike Grable, Ted Singer, Kolby Turnock

Historic Designation: Not Designated Local Landmarks District Landmark Building

Specifications of work proposed:

Landscape materials: Low sumac (ground cover), Maiden grass, Karl Foerster grass, Arborvitae, Red maple.

Lawn: Kentucky Bluegrass.

Concrete: High Albedo

Line of Arborvitae to act as boundary between project property line and existing residence on Franklin Blvd.

Red Maples planted along West 28th and Dexter Place.

12" segmented block retaining wall along walk on Southwest side and liner unit patio

Signage on Franklin Circle/West 28th Street: Panel sign at W. 28th and lobby entrance, illuminated letter sign

Signage on Dexter Façade (North elevation): Wall plaque, non-illuminated letter sign above gate

Wall plaque: 12"x18" cast bronze "The Dexter Apartments"

Non-illuminated sign: 6" pin mounted satin brass letters

Illuminated sign: 3" deep channel aluminum letters painted black, white LED lights

Recommendations of Design Review Committee:

Approved as presented

Design Review Committee Record:

Alex Frondorf Not Present In-Favor Opposed Table Abstain

Antonia Marinucci Not Present In-Favor Opposed Table Abstain

Adam Rosekelly Not Present In-Favor Opposed Table Abstain

Doug Wahl Not Present In-Favor Opposed Table Abstain

Margaret Lann Not Present In-Favor Opposed Table Abstain

Malaz Elgemiabby Not Present In-Favor Opposed Table Abstain

Required to present at Cleveland Landmarks Commission? Yes No

Date: To be determined by Landmarks Commission.



January 14, 2021

Case 20-063: Lorain Station Historic District (Concept Plan 11-12-20)

9201 Lorain Avenue

Addition of a Medical Building and Site Improvements

Ward 11: Mooney

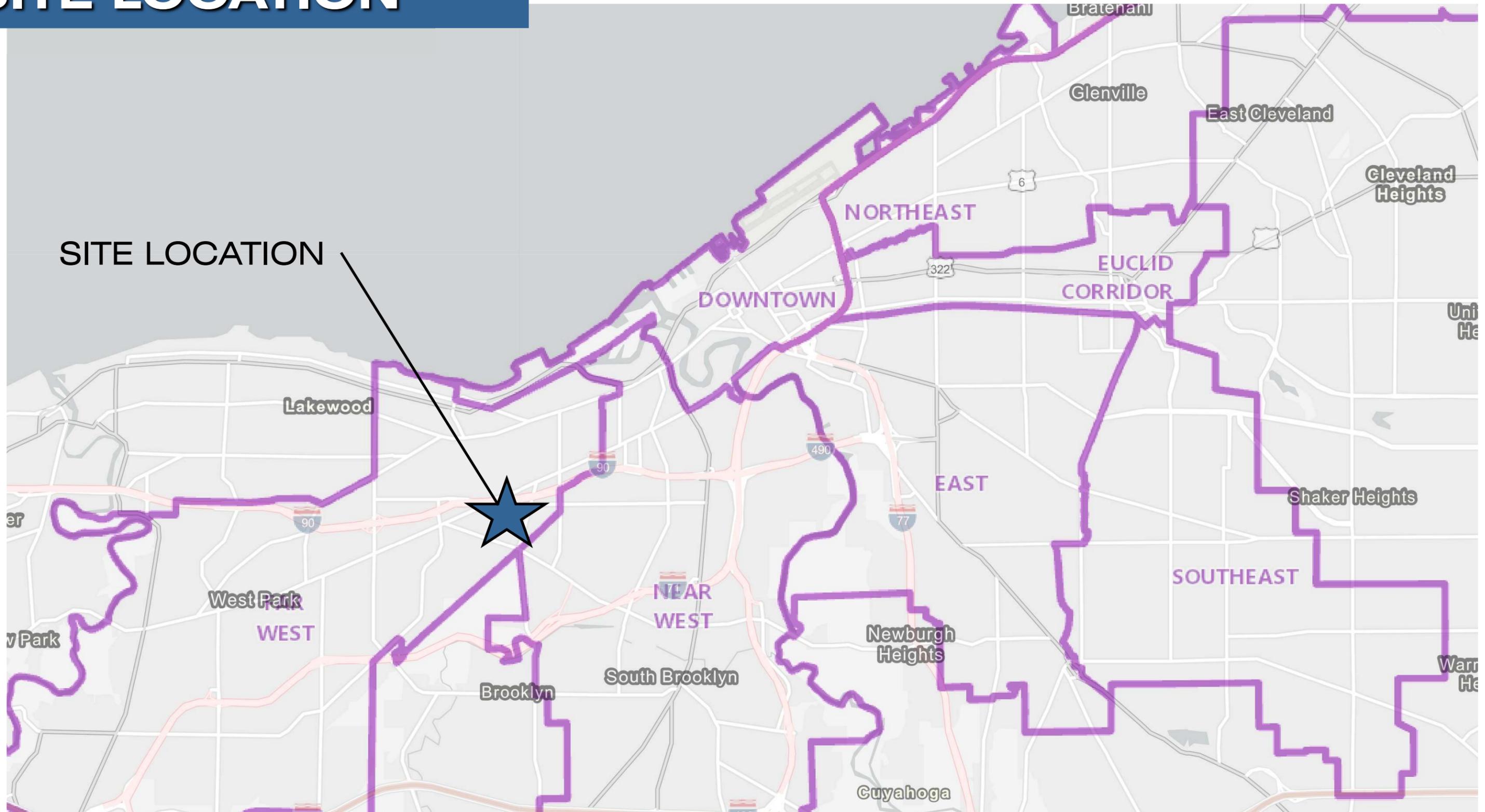
Project Representatives: Janice Cole, Don Rerko, Makovich & Pusti; Carmen Popa, Dean Li, Steve Varelmann, Medicare Group

Interior Renovation and Addition
MedCare Center Cleveland

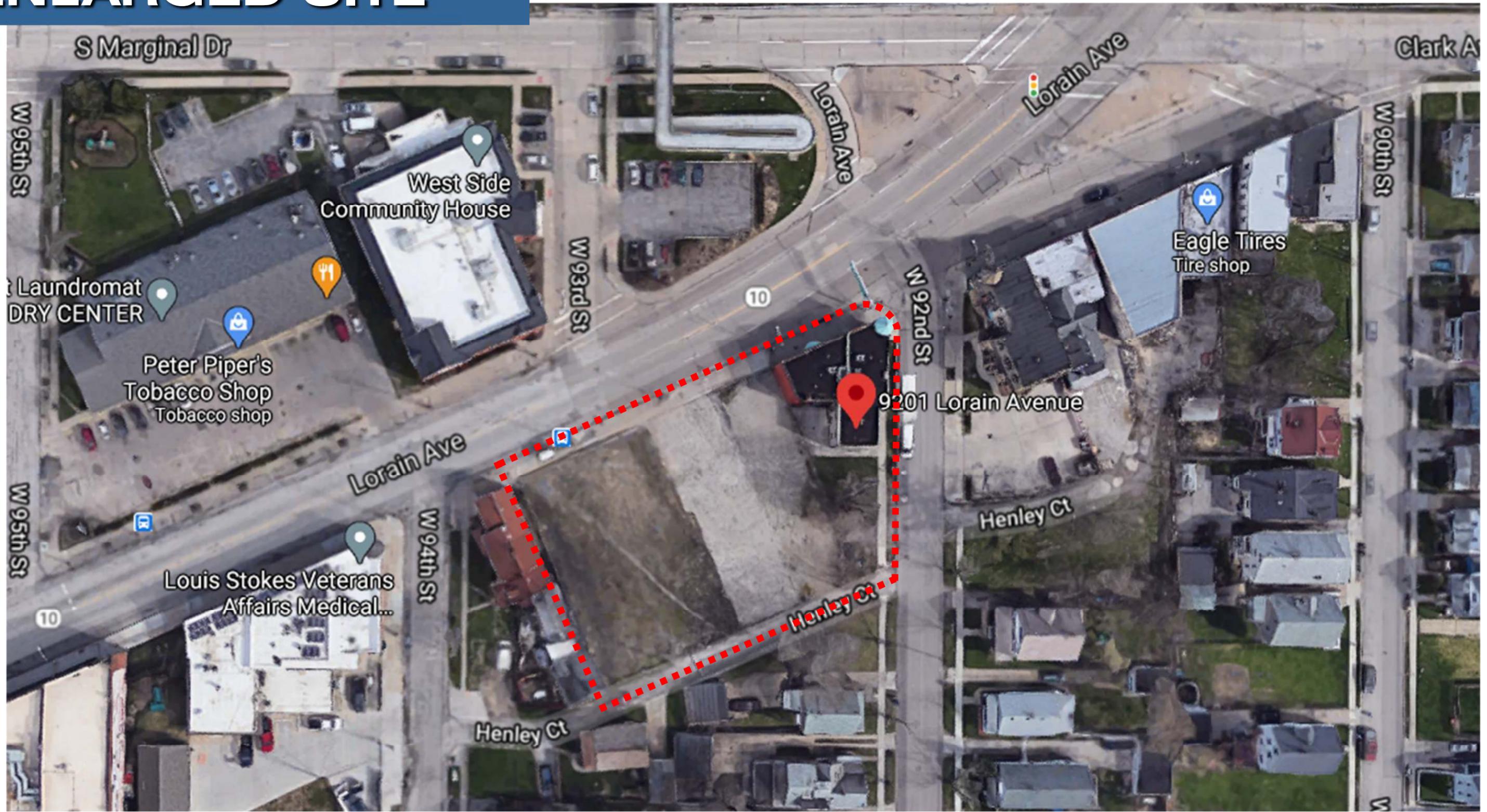
9201 Lorain Road
Cleveland, Ohio

MedCare Group Inc.
Makovich & Pusti Architects, Inc.
Landmarks Commission
January 14, 2021

SITE LOCATION



ENLARGED SITE



NEIGHBORHOOD CONTEXT



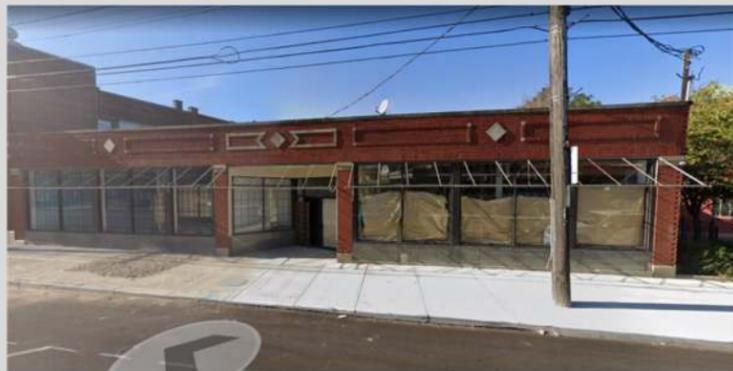
9770 Lorain Road



9401 Lorain Avenue



7952 Lorain Avenue



9600 Lorain Road



9301 Lorain Road



7825 Lorain Avenue



9437 Lorain Road



7960 Lorain Road



7800 and 7806 Lorain Avenue

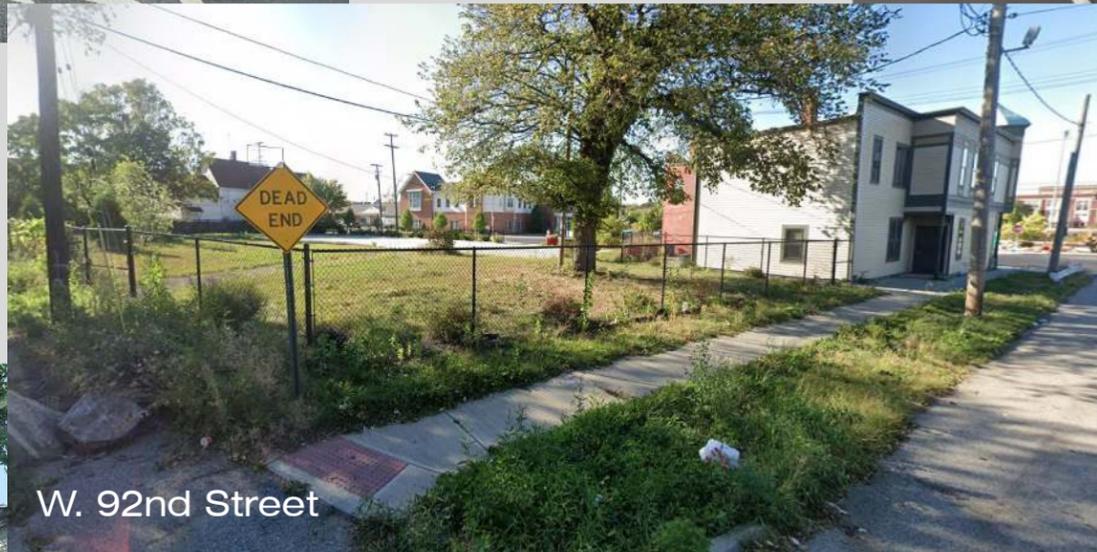
SITE CONTEXT



Lorain and W. 92nd Street



Lorain Road



W. 92nd Street

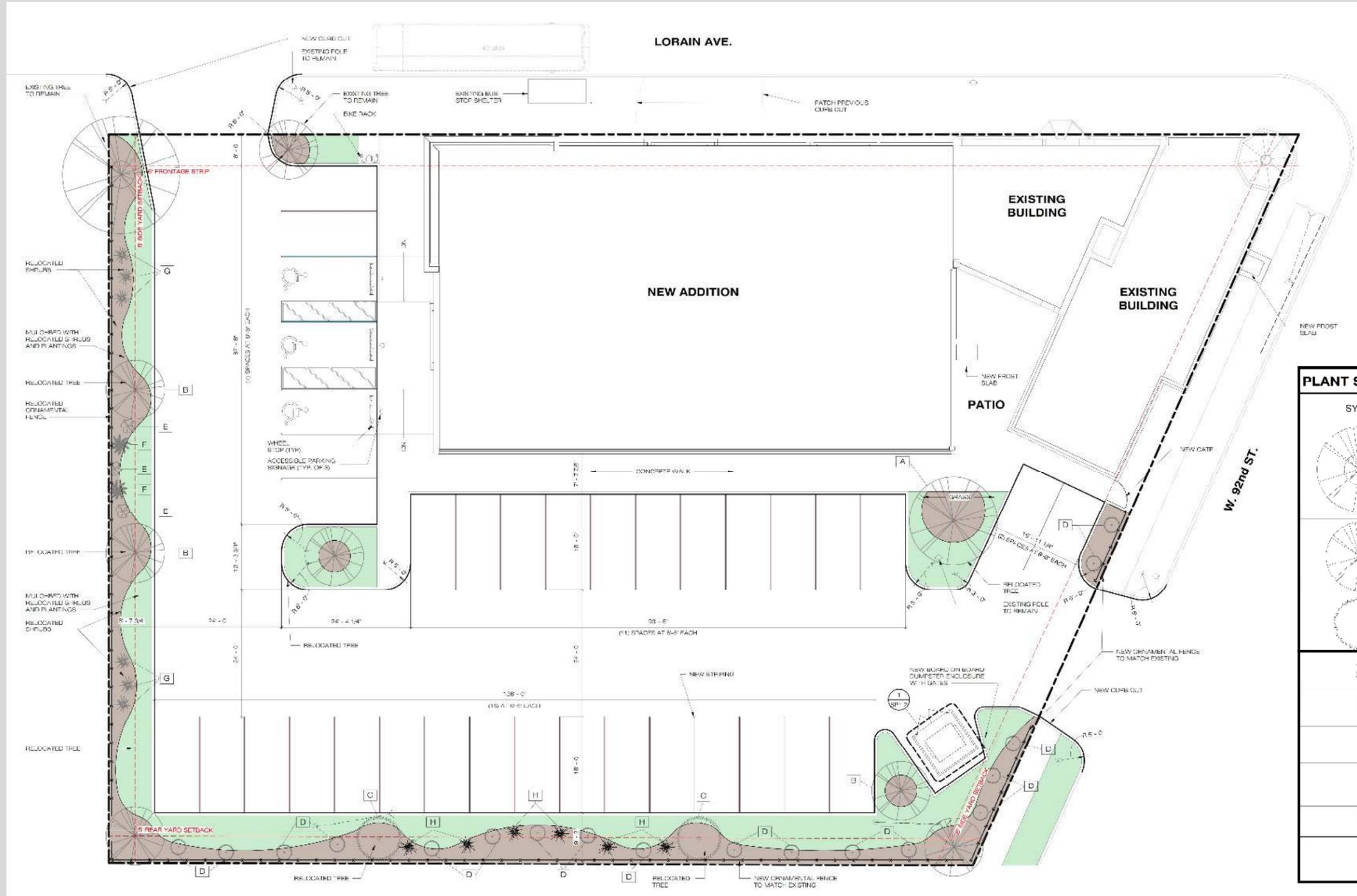


W. 92nd Street



W. 92nd Street

SITE PLAN



PLANT SCHEDULE							
SYMBOL	ITEM NO	COMMON NAME	TYPE	SCIENTIFIC NAME	START SIZE	MATURE SIZE	AMT
	A	EXISTING DECIDUOUS TREE					
	B	EXISTING DECIDUOUS TREE					
	C	EXISTING CONIFEROUS TREE					
	D	NEW ARBORVITAE					
	E	EXISTING SHRUB					
	F	EXISTING HOSTA					
	G	EXISTING DECORATIVE GRASS					
	H	EXISTING DAYLILY					

PLANTING



Relocated Trees, Plants and
Ornamental Fence



Emerald Green Arborvitae

FLOOR PLAN



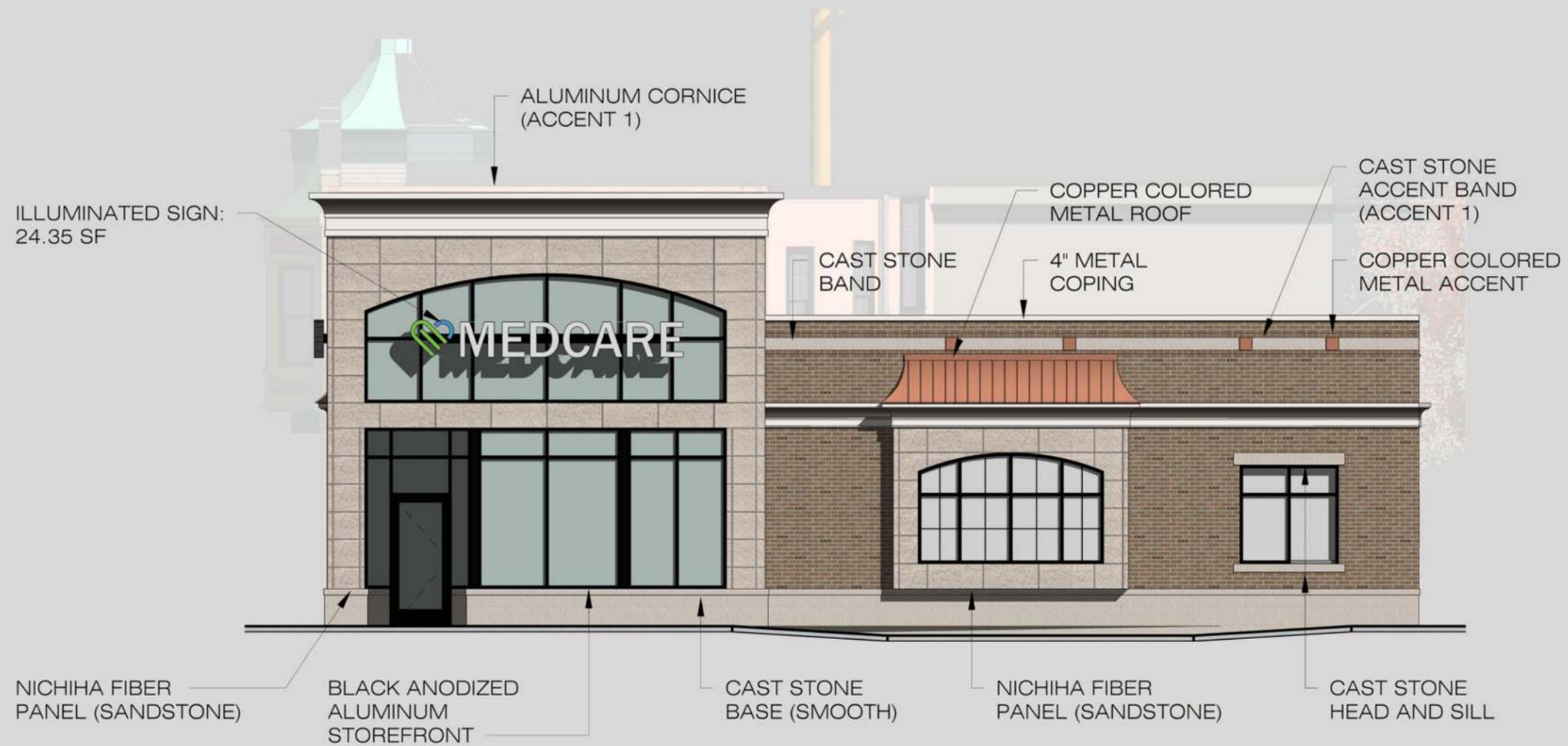
CONTEXTUAL ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



PERSPECTIVE



PERSPECTIVE



MATERIALS



Metal Roof and Accents
Copper finish



Exterior Walls
Glen-Gery | Cedar Lake (thin brick finish)



Existing Face Brick

Cast Stone
Sandstone

Nichiha Desert Beige

Cedar Lake

Existing Stone

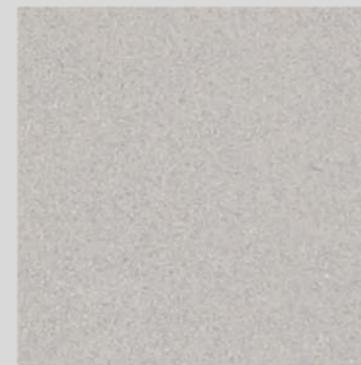


Accent Paint 1

Accent Paint 2



Entrance / Bay Window Accent Wall
Nichiha Sandstone | Desert Beige



Wall Base
Custom Cast Stone | Sandstone



Black Anodized Aluminum
Storefront and Windows

Cleveland Landmarks Commission

Design Review



January 14, 2021



CITY OF CLEVELAND
Mayor Frank G. Jackson

Far West Design Review District

Design Review Advisory Committee

Meeting Motion and Report Form

Meeting Location: Virtual via Webex

Case Number: FW 2020-019

Meeting Date: 12/16/20

Project Name: MedCare Cleveland

Contact Person: Janice Cole

General Description: Addition to building in Landmarks District

Motion by Design Review Committee: Final Recommendation with conditions

Approve: Blazek, Carpenter, Horton (2nd), Howard, McAndrews (1st), Orehek, Provolt, Young

Disapprove:

Abstain:

Non-Voting Attendees:

1. Concern over nichia paneling. Committee thinks that actual brick or hardie siding mimicking the color and temperament of the adjacent historical brick building would look substantially better. Material could also mimic the yellow color of adjacent building.
2. Center west side trees in landscaping island.
3. Dumpster angle might need to be reevaluated.

Certificates of Appropriateness

January 14, 2021



Case 21-001: St. Michael School and Convent

3146 Scranton Road; 2202 Prame Avenue

Renovation and Adaptive Reuse for Senior Apartments--The Arch at St. Michael

Ward 14: Santana

Project Representative: Brian Grambort, HD+S Architecture; Greg Baron, CHN Housing Partners

THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD AND 2202 PRAME AVENUE, CLEVELAND, OHIO 44109

CODE SUMMARY

ALL WORK SHALL CONFORM TO 2017 OHIO BUILDING CODE (OBC) AND OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES
 BUILDING/DWELLING CODE: 2017 OHIO BUILDING CODE (IBC 2015)
 STRUCTURAL CODE: 2017 OHIO BUILDING CODE (IBC 2015)
 PLUMBING CODE: 2017 OHIO PLUMBING CODE (IPC 2015)
 MECHANICAL CODE: 2017 OHIO MECHANICAL CODE (IMC 2015)
 ELECTRICAL CODE: 2017 NATIONAL ELECTRIC CODE - NFPA 70
 FIRE/LIFE SAFETY CODE: 2017 OHIO FIRE CODE (IFC 2009)
 ACCESSIBILITY CODE: 2017 OHIO BUILDING CODE (ICC/ANSI A117.1-2009) & UFAS
 ENERGY CODE: ASHRAE 90.1-2010
 GAS CODE: 2015 OHIO FUEL GAS CODE (IFGC 2015)
 USE GROUP: SEPARATED MIXED-USE R-2 (RESIDENTIAL), A-3 (ASSEMBLY)
 FIRE SUPPRESSION: NFPA 13
 CONSTRUCTION TYPE: 2A
 ALL BUILDINGS WILL BE EQUIPPED WITH A FIRE ALARM SYSTEM

FIRE RATED ASSEMBLIES

OBC 601 STRUCTURAL FRAME: 0 HR
 OBC 601 EXT. LOAD BEARING WALLS: 0 HR
 OBC 601 INT. LOAD BEARING WALLS: 0 HR
 OBC 601 EXT. NON-LOAD BEARING WALLS: 0 HR
 OBC 601 FLOOR CONSTRUCTION: 0 HR
 OBC 601 ROOF CONSTRUCTION: 0 HR
 OBC 508.2.5 LAUNDRY ROOM WALLS: 0 HR
 OBC 3412 USE SEPARATION: 2 HR
 OBC 3412 DWELLING UNIT SEP. WALLS: 1 HR
 OBC 3412 DWELLING UNIT SEPARATION HORIZONTAL ASSEMBLIES: 2 HR

ZONING SUMMARY

PARKING

46 UNITS TOTAL
 1 PARKING SPACE PER 3 DWELLING UNITS
 16 SPACES REQUIRED
 PROPOSED: 16 PARKING SPACES (INCLUDES 2 ACCESSIBLE SPACES)

SITE INFO

ZONED: MULTI FAMILY
 OVERALL SITE AREA:
 44,248 SQ.FT. (1.01 ACRES)

BUILDING SUMMARY

BUILDING GROSS AREAS

EXISTING CONVENT	ADD'N	TOTAL
3rd FLOOR 2,988 SF	90 SF	3,078 SF
2nd FLOOR 3,081 SF	90 SF	3,171 SF
1st FLOOR 3,092 SF	368 SF	3,460 SF
LOWER LEVEL 3,092 SF	90 SF	3,182 SF
TOTAL AREA 12,253 SF	638 SF	12,891 SF

SCHOOL

5th FLOOR 4,870 SF	0 SF	4,870 SF
4th FLOOR 10,337 SF	104 SF	10,441 SF
3rd FLOOR 16,399 SF	0 SF	16,399 SF
2nd FLOOR 16,424 SF	0 SF	16,424 SF
1st FLOOR 16,599 SF	0 SF	16,599 SF
TOTAL AREA 64,629 SF	104 SF	64,733 SF

RESIDENTIAL GROSS AREAS

ONE-BEDROOM TYPE A UNIT PLAN: 717 SF (16 UNITS)
 ONE-BEDROOM TYPE B UNIT PLAN: 806 SF (2 UNITS)
 ONE-BEDROOM TYPE C UNIT PLAN: 741 SF (4 UNITS)
 ONE-BEDROOM TYPE D UNIT PLAN: 765 SF (4 UNITS)
 ONE-BEDROOM TYPE E UNIT PLAN: 680 SF (4 UNITS)
 TWO-BEDROOM TYPE F UNIT PLAN: 1113 SF (16 UNITS)

3 (5% MIN.) ANSI A117.1 TYPE 'A' ACCESSIBLE UNITS
 42 ANSI A117.1 TYPE 'B' UNITS
 2 (2% MIN.) TYPE 'B' UNITS WITH ACCESSIBLE FEATURES
 FOR PERSONS WITH HEARING OR VISION IMPAIRMENTS
 30 TOTAL ONE-BEDROOM UNITS
 16 TOTAL TWO-BEDROOM UNITS

UNIT DISTRIBUTION

SCHOOL BUILDING							CONVENT					
FLOOR	1	2	3	4	5	TOTALS	FLOOR	LL	1	2	3	TOTALS
TYPE 'A' ONE BEDROOM UNIT	4	4	4	4	0	16	TYPE 'C' ONE BEDROOM UNIT	1	1	1	1	4
TYPE 'B' ONE BEDROOM UNIT	0	0	0	0	2	2	TYPE 'D' ONE BEDROOM UNIT	1	1	1	1	4
TYPE 'F' TWO BEDROOM UNIT	4	4	4	4	0	16	TYPE 'E' ONE BEDROOM UNIT	1	1	1	1	4
TOTALS	8	8	8	8	2	34	TOTALS	3	3	3	3	12
							TOTAL REHAB 46					

DEVELOPMENT TEAM

DEVELOPER:

CHN HOUSING PARTNERS
 2999 PAYNE AVENUE
 CLEVELAND, OH 44114
 PH: (216) 574-7100

ARCHITECT:

HITI, DIFRANCESCO AND SIEBOLD, INC.
 1939 WEST 25TH STREET, SUITE 300
 CLEVELAND, OHIO 44113
 PH: (216) 696-3460 FAX: 216.696.1152

HISTORIC PRESERVATION CONSULTANT:

HP GROUP, LLC
 12425 WEST 11TH, STREET, SUITE 4
 CLEVELAND, OHIO 44113
 PH: (216) 302-3519 2

SENIOR INDEPENDENT LIVING INDEX OF DRAWINGS

G-1	COVER SHEET
G-2	GENERAL AND KEYED NOTES
G-3	GENERAL AND KEYED NOTES
G-4	GENERAL AND KEYED NOTES
G-5	GENERAL AND KEYED NOTES
G-20	EXISTING CONDITIONS PHOTOS
G-21	EXISTING CONDITIONS PHOTOS
G-30	MATERIAL SAMPLES
A-1	SITE CONTEXT LOCATION MAP
A-2	EXISTING CONDITIONS SITE PLAN
A-3.1	PROPOSED SITE PLAN
A-4	SCHOOL ELEVATIONS
A-5	SCHOOL ELEVATIONS
A-6	SCHOOL ELEVATIONS
A-7	SCHOOL EXISTING 1ST FLOOR PLAN
A-8	SCHOOL 1ST FLOOR PLAN
A-9	SCHOOL EXISTING 2ND FLOOR PLAN
A-10	SCHOOL 2ND FLOOR PLAN
A-11	SCHOOL EXISTING 3RD FLOOR PLAN
A-12	SCHOOL 3RD FLOOR PLAN
A-13	SCHOOL EXISTING 4TH FLOOR PLAN
A-14	SCHOOL 4TH FLOOR PLAN
A-15	SCHOOL EXISTING 5TH FLOOR PLAN
A-16	SCHOOL 5TH FLOOR PLAN
A-19	CONVENT ELEVATIONS
A-20	CONVENT ELEVATIONS
A-21	CONVENT EXISTING LOWER LEVEL PLAN
A-22	CONVENT LOWER LEVEL FLOOR PLAN
A-23	CONVENT EXISTING 1ST FLOOR PLAN
A-24	CONVENT 1ST FLOOR PLAN
A-25	CONVENT EXISTING 2ND FLOOR PLAN
A-26	CONVENT 2ND FLOOR PLAN
A-27	CONVENT EXISTING 3RD FLOOR PLAN
A-28	CONVENT 3RD FLOOR PLAN
A-50	SCHOOL BUILDING SECTION
A-52	CONVENT BUILDING SECTION
A-53	CONVENT ADDITION MASSING STUDY
A-54	CONVENT ADDITION MASSING STUDY

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THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109 CHN HOUSING PARTNERS
 NOVEMBER 19, 2020 HITI, DIFRANCESCO AND SIEBOLD, INC.

GENERAL NOTES

1. THIS PROJECT IS AN HISTORIC TAX CREDIT PROJECT. ALL WORK SHALL COMPLY WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION. REFER TO THE NATIONAL PARK SERVICE PRESERVATION BRIEFS FOR GUIDANCE REGARDING HISTORIC INTERIORS AND ARCHITECTURAL ELEMENTS. CONTRACTOR TO ARRANGE PRE-CONSTRUCTION MEETING AND PROJECT WALK-THROUGH WITH THE ARCHITECT AND THE PRESERVATION CONSULTANT PRIOR TO UNDERTAKING ANY CONSTRUCTION OR DEMOLITION. CONTRACTOR MUST BE AWARE OF ALL NECESSARY SUBMITTALS, REVIEWS, APPROVALS THAT WILL BE REQUIRED FROM SHPO AND NPS, AND IS RESPONSIBLE FOR ADVANCED COORDINATION OF SUCH WITHIN THE PROJECT BUDGET AND CONSTRUCTION SCHEDULE.
2. THE PROJECT IS DESIGNED AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH 2017 OHIO BUILDING CODE WITH AMENDMENTS, CITY CODES AND ORDINANCES, STATE CODES, AND ALL OTHER APPLICABLE CODE REQUIREMENTS INCLUDING REQUIREMENTS FOR ACCESSIBILITY, AND THOSE RELATING TO SUSTAINABLE DESIGN AND CONSTRUCTION.
3. CONTRACTOR SHALL PROVIDE, INSTALL, MAINTAIN, AND REMOVE FROM SITE ALL NECESSARY TEMPORARY FACILITIES REQUIRED BY LOCAL, STATE AND FEDERAL LAW TO INSURE PUBLIC AND WORKER SAFETY, AND TO PROVIDE APPROPRIATE MANAGEMENT AND CONTROL OF THE WORK AREA.
4. IF ENCOUNTERED, COMPLETE ABATEMENT AND DISPOSAL OF ASBESTOS, LEAD PAINT, BLACK MOLD AND/OR OTHER HAZARDOUS MATERIALS SHALL COMPLY WITH OSHA AND EPA REQUIREMENTS AS WELL AS ANY ADDITIONAL REQUIREMENTS WITHIN PROJECT SPECIFIC SUSTAINABILITY STANDARDS.
5. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO BIDDING, PRICING, AND CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT OF DEVIATIONS FROM THE DRAWINGS AND/OR ANY CONDITION WHICH MAY IMPACT DESIGN AND COST. EXISTING ELEMENTS UNCOVERED OR NOT SPECIFICALLY NOTED ON DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT, AND TREATED IN ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION AND AS REQUIRED TO ACHIEVE THE FINAL DESIGN INTENT AS INDICATED IN THE PROJECT DRAWINGS AND SPECIFICATIONS.
6. ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR FACE OF FINISH MATERIAL.
7. ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH MATERIAL.
8. BOTH SCHOOL AND CONVENT BUILDINGS SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM THROUGHOUT IN ACCORDANCE WITH NFPA 13.
9. ITEMS NOTED AS "HISTORIC", TO REMAIN, TO BE SALVAGED FOR REUSE, OR TO BE REPLICATED SHALL BE STORED, RECORDED, AND PROTECTED DURING DEMOLITION AND CONSTRUCTION BY CONTRACTOR TO PREVENT DAMAGE. ITEMS NOTED TO REMAIN IN PLACE SHALL BE PROTECTED USING APPROPRIATE MEASURES TO PREVENT DAMAGE DURING ABATEMENT, DEMOLITION, AND CONSTRUCTION. ITEMS NOTED
10. UNITS MARKED WITH THIS SYMBOL SHALL BE FULLY ACCESSIBLE, COMPLIANT WITH ANSI A117.1 TYPE 'A' UNIT. 
11. UNITS MARKED WITH THIS SYMBOL SHALL RECEIVE UPGRADES FOR VISION/HEARING IMPAIRED RESIDENTS. 

12. TO BE SALVAGED AND STORED SHALL BE STORED IN DRY, TEMPERATURE STABLE AREA FREE FROM EXPOSURE TO THE ELEMENTS. CONTRACTOR SHALL KEY AND TAG ELEMENTS TO BE SALVAGED AND SHALL MAINTAIN A LOG WITH LOCATION REFERENCE KEYED TO DRAWINGS. THIS LOG SHALL INDICATE DATE OF SALVAGE, DESCRIPTION OF ITEM(S) SALVAGED, KEY REFERENCE, METHOD OF PACKAGING, AND FINAL ACTION TAKEN WITH SALVAGED ITEM(S). HISTORIC ELEMENTS NOTED TO REMAIN, TO BE SALVAGED, OR TO BE REPLICATED WHICH BECOME LOST, DISCARDED, OR DAMAGED SHALL BE REPLACED OR REPAIRED BACK TO ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
13. CONTRACTOR TO REVIEW IN FIELD ALL ITEMS TO BE REMOVED TO CONFIRM WHETHER REMOVAL MIGHT RESULT IN STRUCTURAL DEFICIENCY OR FAILURE. ALL DEMOLITION AND EQUIPMENT REMOVAL SHALL BE PERFORMED TO ALLOW EXISTING BUILDING ELEMENTS TO REMAIN STRUCTURALLY STABLE AT ALL TIMES. PROVIDE TEMPORARY NEEDLING, SHORING, AND BRACING TO MAINTAIN STRUCTURAL STABILITY. CONTACT STRUCTURAL ENGINEER AND ARCHITECT IMMEDIATELY IF ANY QUESTIONS REGARDING STRUCTURAL STABILITY ARISE.
14. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR MAINTAINING REQUIRED FIRE-RESISTANCE RATINGS OF ALL RATED ASSEMBLIES THROUGHOUT DEMOLITION AND CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, EXTERIOR WALLS, FIRE SEPARATIONS, STAIRWELLS, ELEVATOR SHAFTS, AND MECHANICAL SHAFTS DESIGNATED TO REMAIN AND AT ALL FLOOR/CEILING ASSEMBLIES AND ROOF SLABS. CONTRACTOR TO COORDINATE REMOVAL OF FIRE PROTECTION SYSTEM WITH FIRE DEPARTMENT AS REQUIRED. CONTRACTOR SHALL MAINTAIN REQUIRED MEANS OF EGRESS FROM WORK AREA THROUGHOUT DEMOLITION AND CONSTRUCTION.
15. NEW WALL & FLOOR OPENINGS: WHERE SECTIONS OF EXISTING WALLS AND FLOORS ARE REMOVED FOR NEW OPENINGS: CONTRACTOR SHALL CONSULT ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO ANY WALL, FLOOR, BEAM, OR COLUMN REMOVAL. PROVIDE TEMPORARY BRACING AND FINAL STRUCTURAL COMPONENTS PER REQUIREMENTS ON DRAWINGS AND IN SPECIFICATIONS.

EXISTING SITE PLAN KEYED NOTES

- ES1 EXISTING PARKING LOT, PAVING, CURBS, APRONS, AND ASSOCIATED FEATURES TO BE DEMOLISHED.
- ES2 EXISTING DETERIORATED CONCRETE PATIO SLAB AT CONVENT TO BE REMOVED.
- ES3 EXISTING WALKWAY TO SCRANTON ROAD TO BE REMOVED.
- ES4 EXISTING METAL FENCING TO BE REMOVED. EXISTING BOLLARDS IN RIGHT-OF-WAY TO BE REMOVED.
- ES5 EXISTING BOARD-ON-BOARD FENCING AND GUARDRAIL TO BE REMOVED BETWEEN CONVENT AND ADJACENT RESIDENTIAL PROPERTY.
- ES6 EXISTING DETERIORATED AND DAMAGED CONCRETE STEPS TO BE REMOVED.
- ES7 EXISTING SITE LIGHTING MOUNTED TO UTILITY POLES IN THE RIGHT-OF-WAY, AND BUILDING MOUNTED SITE LIGHTING TO BE REMOVED.
- ES8 EXISTING SCHOOL CROSSING POLE AND LIGHT TO BE REMOVED.

PROPOSED SITE PLAN KEYED NOTES

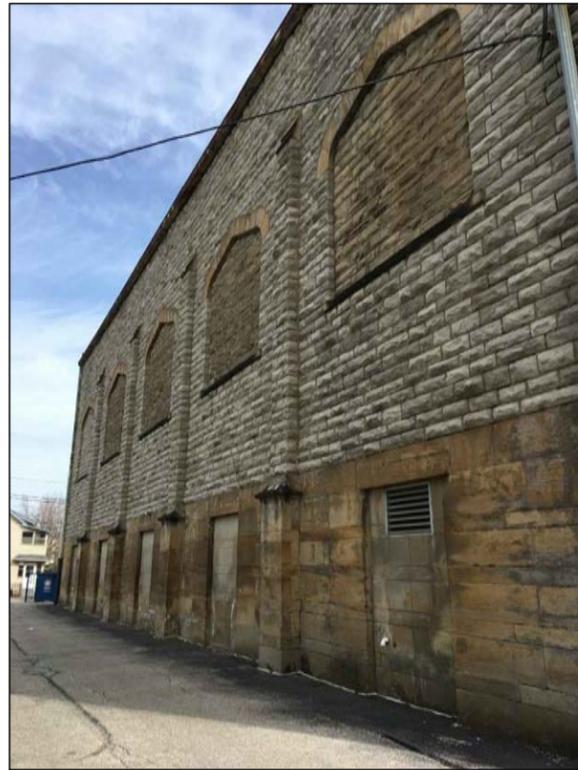
- S1 PROVIDE NEW STANDARD DUTY ASPHALT PAVING AND STRIPING.
- S2 PROVIDE HEAVY DUTY PAVING AT DRIVE AISLE, FULL LENGTH.
- S3 PROVIDE HANDICAP PARKING SIGNAGE AT INDICATED SPACES.
- S4 PROVIDE CONCRETE CURBS, CONCRETE WHEEL STOPS, NEW CONCRETE DRIVE APRONS, CONCRETE HANDICAP SPACES AND ACCESS AISLES.
- S5 PROVIDE NEW CONCRETE WALKWAYS, CONCRETE PEDESTRIAN CROSSING AT VEHICULAR DRIVE, CONCRETE PRIVATE RESIDENT PATIO BEHIND CONVENT, AND CONCRETE SITTING AREA OFF SCRANTON.
- S6 PROVIDE CONCRETE FROST-FREE SLABS AT AT-GRADE ENTRANCES.
- S7 PROVIDE NEW 48" HIGH DECORATIVE 3-RAIL METAL FENCE.
- S8 PROVIDE NEW 6' HIGH BOARD-ON-BOARD FENCE.
- S9 PROVIDE NEW CONCRETE STEPS.
- S10 PROVIDE NEW BUILDING MOUNTED LED SITE LIGHTING WITH CUTOFF LENSES.
- S11 ADJUST AND RECONFIGURE EXISTING GRAVITY FLOW, NON-PRESSURIZED STORM WATER DRAINAGE SYSTEM, INCLUDING YARD DRAIN, CLEANOUTS, AND CONCRETE MANHOLES TO ACCOMMODATE NEW SITE LAYOUT. TIE EXISTING BUILDING PERIMETER STORM LINES INTO NEW SYSTEM.
- S12 PROVIDE NEW MONUMENT SIGN WITH GROUND MOUNTED LED LIGHTING.
- S13 PROVIDE NEW 6" HIGH X 18" WIDE STONE MASONRY SITE CURB.
- S14 PROVIDE NEW LANDSCAPE BEDS WITH SHRUBS, TREES, AND PERENNIAL PLANTINGS.
- S15 PROVIDE NEW SITE FURNISHINGS INCLUDING BENCHES, TABLES, AND CHAIRS AS INDICATED.
- S16 EXISTING BUILDING PERIMETER STORM WATER MANAGEMENT SYSTEM TO RECEIVE NEW PVC BOOTS CONNECTED TO NEW ALUMINUM DOWNSPOUTS AND TO SITE STORM SYSTEM. CONTRACTOR SHALL JET AND CAMERA PIPING. PVC BOOTS SHALL BE PAINTED TO MATCH DOWNSPOUTS.

EXTERIOR DEMOLITION AND CONSTRUCTION GENERAL NOTES

1. THE EXTERIOR RESTORATION SCOPE OUTLINED IN THE GENERAL NOTES IS FOR REFERENCE AND IS NOT A SUBSTITUTE FOR BECOMING FAMILIAR WITH THE ENTIRE PROJECT SCOPE AS REPRESENTED IN DRAWINGS AND THE TECHNICAL SPECIFICATIONS. REVIEW ALL DRAWINGS AND APPLICABLE TECHNICAL SPECIFICATIONS AND PRESERVATION BRIEFS FOR RELATED INFORMATION PRIOR TO PROCEEDING.
2. EXISTING STONE, BRICK, TERRA-COTTA, PLASTER, METAL, AND WOOD WALLS AND DETAILING SHOULD BE CONSIDERED HISTORIC UNLESS OTHERWISE NOTED. ANY DAMAGED, CRACKED, OR SPALLED BRICK, STONE, OR EXPOSED CONCRETE ELEMENTS SHALL BE EVALUATED FOR REPAIR, REPLACEMENT, AND CLEANING. REFER TO DETAILED NOTES.
3. SELECTIVE DEMOLITION OF HISTORIC MASONRY ELEMENTS SHALL BE PERFORMED BY A MASONRY CONTRACTOR WITH A MINIMUM OF 10 YEARS' EXPERIENCE IN THE DEMOLITION AND REPAIR OF EXISTING HISTORIC BUILDINGS.
4. ALL BRICK AND STONE REMOVED FROM EXISTING EXTERIOR WALLS SHALL BE SALVAGED FOR POSSIBLE REUSE ON THIS PROJECT.
5. REMOVE FROM FACE OF EXISTING CONSTRUCTION ALL EXISTING SURFACE MOUNTED CONDUITS, ABANDONED EMBEDDED ANCHORAGE AND STRUCTURAL MEMBERS, PIPING, SUPPORT BRACKETS, AND OTHER MISCELLANEOUS OBJECTS.
6. EXISTING MASONRY TO RECEIVE LIMITED SPOT CLEANING AT SEVERELY STAINED AREAS. CLEANING, REPAIR METHODS, AND REPOINTING SHALL BE IN ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION.
7. REPAIR AND REPLACE DAMAGED OR MISSING EXISTING MASONRY WITH NEW MASONRY UNITS AND MORTAR TO MATCH EXISTING IN SIZE, SHAPE, COLOR, FINISH, AND TEXTURE AS APPROVED BY THE ARCHITECT AND IN ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION.
8. CLEAN MASONRY INCLUDING REMOVAL OF GRAFFITI, PLANT GROWTH, AND PAINT. CLEAN ALL DECORATIVE STONE ELEMENTS, STONE ORNAMENTS, AND SCULPTURES IN ACCORDANCE WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION. WHERE ELEMENTS ARE SEVERELY DAMAGED, REMOVE AND REPLACE DAMAGED STONE PIECES WITH CAST STONE PIECES AND MORTAR TO MATCH EXISTING IN PROFILE, SHAPE, COLOR, AND TEXTURE. WHERE POSSIBLE, PATCH SMALLER AREAS OF SPALLED OR MISSING STONE WITH MASONRY MORTAR AND WORK TO MATCH EXISTING.
9. WHERE EXISTING DOORS, WINDOWS, WINDOW INFILL, STOREFRONT, CURTAINWALL, AND SECURITY SCREENS ARE INDICATED TO BE REMOVED UNITS SHALL BE REMOVED IN THEIR ENTIRETY DOWN TO STRUCTURAL ROUGH OPENING INCLUDING RESIDUE, SEALANT, CAULK, SHIMS, ETCETERA. MASONRY AND STONE SILLS AND HEADERS, AND STEEL LINTELS TO REMAIN AND SHOULD BE SALVAGED AND PROTECTED WHENEVER POSSIBLE. WINDOW SILLS ARE INTENDED TO BE REUSED BUT MAY REQUIRE REMOVAL, SALVAGING, AND ADJUSTMENT FOR INSTALLATION OF NEW WINDOWS, STOREFRONT, OR CURTAINWALL. SILLS SHALL BE SALVAGED, STORED, TAGGED, AND CLEANED AS SPECIFIED FOR SALVAGED MATERIALS.



NORTH FACADE - KINKEL AVENUE



WEST FACADE



SOUTH WEST ENTRANCE



SOUTH FACADE - PRAME AVENUE



EAST FACADE - SCRANTON ROAD

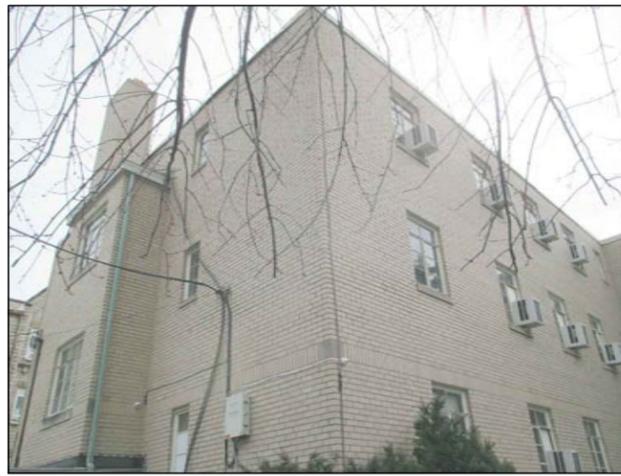


EAST FACADE - SCRANTON ROAD



EAST FACADE - SCRANTON ROAD

SCHOOL EXISTING CONDITIONS PHOTOS



NORTH ENTRANCE



WEST FACADE - COURTYARD



NORTH FACADE - COURTYARD



WEST FACADE



SOUTH FACADE - PRAME AVENUE



EAST FACADE



EAST FACADE

EXISTING CONVENT PHOTOS

EXTERIOR DEMOLITION AND CONSTRUCTION GENERAL NOTES CONTINUED

... AS EXISTING CONSTRUCTION IS REMOED OR DEMOLITION OR SALAGING ANDOR AS NE OENINGS ARE CREATED CONTRACTOR SALL ROIDE DURALE TEMORARY ENCLOSURES AS REUIRED TROUGOUT MODIICATION AND RESTORATION ORK

DO NOT TORC CUT STEEL OR OTER METAL OECTS ROM MASONRY UNLESS RECAUTIONS ARE TAKEN TO REENT RESULTING MOLTEN METAL SLAG DERIS OR CAR ROM EING DEOSITED ON MASONRY ROIDE A MOCKU O ROTECTION METODOLOGY AND SECURE TE AROAL O TE ARCITECT RIOR TO ROCEEDING ANY SLAG DEOSITS OR CAR TAT RESULT ROM DEMOLITION ACTIITIES ILL E REUIRED TO E CORRECTED AT TE EXENSE O TE CONTRACTOR RESONSILE OR SELECTIE DEMOLITION

REMOE EXISTING GUTTERS AND DONSOUTS OR RELACEMENT UNLESS OTERISE NOTED

EXISTING LO SLOE ROOING SYSTEMS TO E REMOED IN TEIR ENTIRETY DON TO EXISTING STRUCTURE

EXISTING DAMAGED ANDOR DETERIORATED ROO TILES TO E REMOED AND RELACED NE OR REGLAED ROOING ELEMENTS AEARANCE TO E AROED Y ARCITECT AND MUST COMPLY IT TE SECRETARY O TE INTERIOR STANDARDS OR REALITATION

REER TO MASONRY REAIR LEGEND OR ORK SECIIED ON ELEATIONS

EXISTING ROO LASING SALL E REMOED AND RELACED IT NE AT EDGES TRANSITIONS AND ENETRATIONS

EXTERIOR DEMOLITION AND CONSTRUCTION KEYED NOTES

E REMOE EXISTING ENTRY DOORS NE ENTRY DOORS SALL E LITE ALUMINUM DOORS IT RAISED LOER ANEL AND INSULATED LOE CLEAR GLAING

E REMOE EXISTING INDOS GLASS LOCK SECURITY SCREENS AND MECANICAL EUIMENT IN OENINGS RELACE IT NE ALUMINUM INDO UNITS IT INSULATED LOE CLEAR GLAING AND INSECT SCREENS SCOOOL SALL RECEIE NE SINGLE UNG INDOS IT IXED TRANSOM IN SINGLE DOULE AND TRILE UNITS TO MATC ISTORIC CONIGURATION CONENT SALL RECEIE NE CASEMENT INDOS IT IXED TRANSOM AND TREE EUAL DIIDED LIGTS ER ANEL IN SINGLE AND DOULE UNITS TO MATC ISTORIC CONIGURATION NE INDOS SALL E INSTALLED AT ISTORIC LOCATION ITIN DET O EXTERIOR ALL

E REMOE EXISTING ALUMINUM STORERONT AND CURTAINALL SYSTEMS AND RELACE IT NE DEE ALUMINUM STORERONT AND CURTAINALL SYSTEMS IT INSULATED LOE CLEAR GLAING

E REMOE EXISTING ENTRY CANOY ON SCOOOL EAST ELEATION AND CONENT NORT ELEATION AND RELACE IT NE METAL ANEL ENTRY CANOY IT ALUMINUM SOIT ROO MEMRANE AND INTERNAL DRAINAGE

E REMOE EXISTING GUTTERS AND DONSOUTS SCOOOL SALL RECEIE MEDIUM RON ALUMINUM GUTTERS AND DONSOUTS CONENT SALL RECEIE NE EIGE GUTTERS AND DONSOUTS

E ROIDE IG DENSITY OLYTYLENE DE IRD NETTING IT STAINLESS STEEL ANCORING ARDARE IN CUOLA OENINGS RESET INIALS AND CROSSES AS NEEDED

E RELACE DAMAGED ROO TILES SALLED ROO TILES SALL E REGLAED ER MANUFACTURERS RECOMMENDATIONS RELACED MISSING ROO TILES IT NE TO MATC EXISTING

E NE ROO TERRACE IT IG DECORATIE RAIL METAL RAILING TERRACES TO RECEIE OUTDOOR CONCRETE AERS ON LEELLING EDESTALS ON NE MEMRANE ROO

E NE ROO LASING TROUGOUT EXISTING ROO AT EDGES TRANSITIONS AND ENETRATIONS COLOR AS SELECTED Y ARCITECT

E NE ADDITION ON TE SCOOOL UILDING INCLUDING IER CEMENT ANELING ALUMINUM INDOS TO MATC TE SCOOOL AND ROO EDGE LASING TO MATC TE SCOOOL

E EXISTING ELEATOR SAT TO REMAIN INCLUDING EXTERIOR ERTICAL CORRUGATED METAL SIDING RELACE EXAUST LOUER AND OENING TRIM

E NE COILING OEREAAD DOOR MOUNTED TO TE INTERIOR ACE O TE EXTERIOR ALL COLOR TO MATC STONE SURROUND

E NE INSULATED AINTED OLLO METAL DOOR AND RAME COLOR TO MATC STONE SURROUND

E EXISTING CIMNEY AND LAT CANOY TO E DEMOLISED ON TE NORT AADE O TE CONENT

E NE ELEATOR SAT AND ONESTORY LOY ADDITION ON CONENT ADDITION SALL INCLUDE IER CEMENT ANELING TO MATC STONE ON TE CONENT ALUMINUM ENTRY DOORS STORERONT AND ROO EDGE LASING TO MATC TE CONENT ELEATOR SAT SALL MATC EXISTING EIGT O TE CIMNEY

E REMOE EXISTING LO SLOE ROOING AND LASING AND RELACE IT NE MIL YEAR MEMRANE ROO AND NE LASING TROUGOUT

E REMOE AND RELACE EXISTING ROO DRAINS AND OERLO DRAINS

E REMOE EXISTING ROO MOUNTED AC EUIMENT AND STRUCTURAL STEEL SUORTS NE ROOTO EUIMENT TO E LOCATED IN DASED AREAS ON ROOSED ROO LANS

E EXISTING STANDING SEAM ROO TO REMAIN DAMAGED ANDOR DETERIORATED LASING TO E REMOED AND RELACED IT NE TO MATC EXISTING

E EXISTING ROO ATC TO REMAIN

E EXISTING ENT TO E REMOED

E NE ELEATOR OISTAY ROO IT NE MEMRANE ROO EDGE LASINGS ALUMINUM GUTTER AND DONSOUT TO MAIN ROO

E EXISTING LO SLOE ROO TILED ROO AND ROO ACCESS DORMERS TO E REMOED AS REUIRED TO ACCOMMODATE NE ADDITION

E NE ROO DRAIN AND OERLO DRAIN

INTERIOR DEMOLITION GENERAL NOTES

ITEMS DASED ON LANS ANDOR SECIICALLY NOTED SALL E DEMOLISED AND REMOED CONTRACTOR TO TAKE RECAUTIONS DURING DEMOLITION NOT TO DAMAGE EXISTING ISTORIC INISES IC MAY E EITER ISILE DISCOERED OR CONCEALED EIND EXISTING INISES

REMOE ALL LOOSE NONISTORIC INISES SUC AS DRYALL TILE AINT ETC DON TO SOUND SUSTRATE ON ALLS LOORS AND CEILINGS ORK SALL E CONDUCTED IN ACCORDANCE IT ALL ALICAL ENIRONMENTAL REGULATIONS

ERE TERRAO LOORS AND ASE EXIST TEY SALL E ROTECTED IN LACE TROUGOUT TE DURATION O DEMOLITION AND CONSTRUCTION

UNLESS NOTED OTERISE ALL EXISTING RICK ALLS TRIM MOLDINGS STAIRS LASTER CEILINGS LASTER DETAILS AND OTER ORIGINAL ITEMS SOULD E CONSIDERED ISTORIC AND E SALAGED OR ROTECTED IN LACE CONIRM IT ARCITECT I UESTIONS ARISE IN TE IELD

UNLESS NOTED OTERISE REMOE ALL EXISTING IXTURES EUIMENT AND SYSTEMS SERING EXISTING MECANICAL ELECTRICAL LUMING IRE ROTECTION AND TELEDATA UNCTIONS INCLUDING UT NOT LIMITED TO DISTRIUTION IING DUCT ORK IRING CONDUIT RISERS ANELS SITCES ITTINGS IXTURES SUORT ARDARE RAMING ANGERS ASTENERS AND ALL OTER AURTENANCES REMOE ALL RADIATORS URNACES OT ATER EATERS ETC RETAIN EXISTING STORM DRAINS UTILITY LEADERS AND LOOR DRAINS IN SLAONGRADE COORDINATE IDENTIICATION AND INSECTIONS O EXISTING UNDERGROUND ASTE AND STORM LINES AS ALLOED Y CODE CA ALL LINES TO E AANDONED EIND INISED SURACES ALL EUIMENT AND OTER SERICE ELEMENT DEMOLITION ACTIITY TO E COORDINATED IT GENERAL CONTRACTOR SU TRADE CONTRACTORS SALL MAKE SAE ALL ITEMS SCEDULED OR DEMOLITION AND MARK ALL ITEMS TO REMAIN RIOR TO COMMENCEMENT O DEMOLITION ORK

EXISTING INDO SILLS SALL E SALAGED OR REINSTALLATION ATER INDO RELACEMENT IS COMLETE

INTERIOR DEMOLITION KEYED NOTES

D AS SON DASED KEYNOTED OR INDICATED OTERISE REMOE ALL INTERIOR ARTITIONS DOORS AND RAMES ERE DEMOLITION OCCURS AND AUTS EXISTING CONSTRUCTION INDICATED TO REMAIN CONTRACTOR SALL ATC AND REAIR EXISTING CONSTRUCTION AS REUIRED TO MATC EXISTING INIS TO REMAIN

D REMOE EXISTING DROED ACOUSTIC AND DRYALL CEILINGS ILE MAINTAINING ISTORIC LASTER CEILINGS AOE ERE ACOUSTICAL CEILING TILE AS EEN ALIED DIRECTLY TO ISTORIC LASTER SURACES REMOE TILES TAKING CARE TO CAUSE AS LITTLE DAMAGE TO LASTER AS OSSILE ATC REAIR AND AINT EXISTING LASTER CEILINGS REMOE EXISTING LIGTING TROUGOUT

D REMOE ALL ALIED NONISTORIC LOORING MATERIAL RESIDUE AND ATTACMENTS DON TO ORIGINAL OOD OR CONCRETE SUSTRATE TAKE CARE DURING REMOAL O CURRENT NONISTORIC LOORING MATERIAL ERE TERE MIGT E ISTORIC LOOR INIS UNDERNEAT

D EXISTING ISTORIC TERRAO LOORING TERRAO ASE AND LOOR TILE INLAY SALL REMAIN AND E ROTECTED IN LACE RUER TREAD COERS TO E REMOED RIOR TO OLISING O TERRAO STES

D RESERE AND ROTECT ISTORIC STAIRES INCLUDING ALLS ALL TRIM AND RAILINGS AND STAIR TREAD RISER SURACES DURING DEMOLITION AATEMENT AND CONSTRUCTION ACTIITIES

D REMOE ALL EXISTING NONISTORIC URNISINGS EUIMENT AND MILLORK

D EXISTING LASTER ALLS AND CEILINGS ON METAL LAT OR ALIED DIRECTLY TO SUSTRATE SALL E MAINTAINED IN LACE UNLESS NOTED OTERISE IT IS EXECTED TAT EXISTING LASTER AT LEAST ON TE IRST LOOR O TE SCOOOL EXCET OR TE AUDITORIUM AND ARTIALLY ON TE SECOND LOOR ILL NEED TO E ULLY AATED AND DISOSED O DUE TO TE EXTENT O LACK MOLD GROT REMOAL AND DISOSAL METODS SALL COMPLY IT OSA AND EA REUIREMENTS AS ELL AS ANY ADDITIONAL REUIREMENTS ITIN ROECT SECIC SUSTAINAILITY STANDARDS

D REMOE EXISTING ELEATOR CA INISES LIGTING AND CONTROLS IN REARATION OR ARTIAL MODERNIATION

D REMOE EXISTING ASKETALL OOS ACKOARDS ANCORS AND ASSOCIATED ACCESSORIES

D REMOE EXISTING AINTED ASEKETALL LINEORK ON TE AUDITORIUM LOOR REMOAL METODS SALL NOT DAMAGE TE EXISTING SUSTRATE

D REMOE EXISTING NONISTORIC STAIRS AND ANDRAIL

D REMOE EXISTING OOD STAGE LOORING AT ACK EET O STAGE ULL IDT O STAGE AND ROIDE NE CONCRETE LOOR

D REMOE EXISTING METAL IE RAILING AT MEANINE RONT ALL RONT KNEE ALL AND CA SALL E ROTECTED IN LACE

D REMOE EXISTING MEANINE SEATING LOORING ASE AND TERRACING DON TO EXISTING LOOR STRUCTURE

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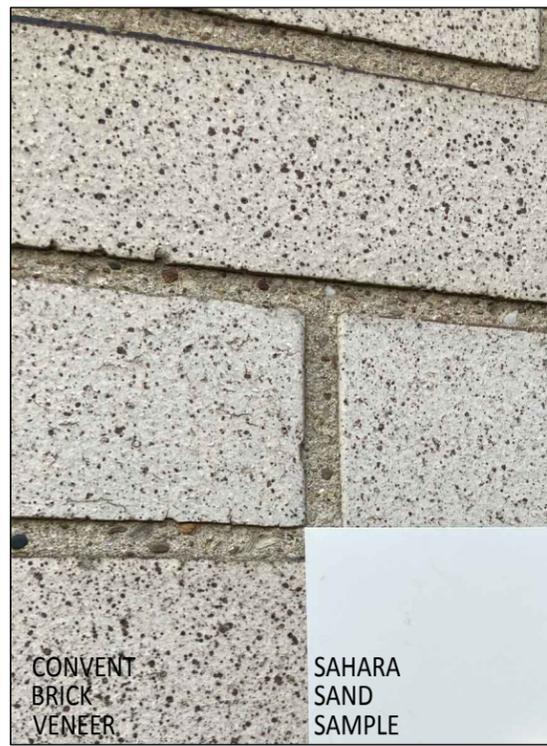
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NOVEMBER 19, 2020

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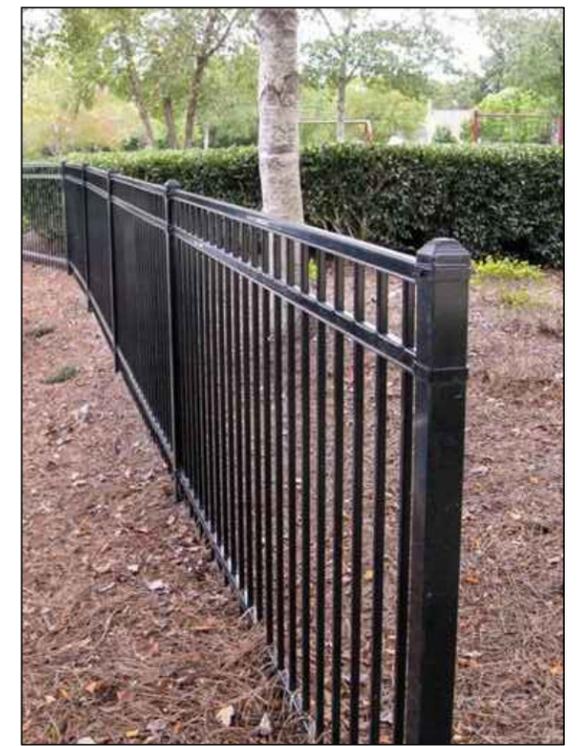
FIBER CEMENT PANEL COLOR - KHAKI BROWN



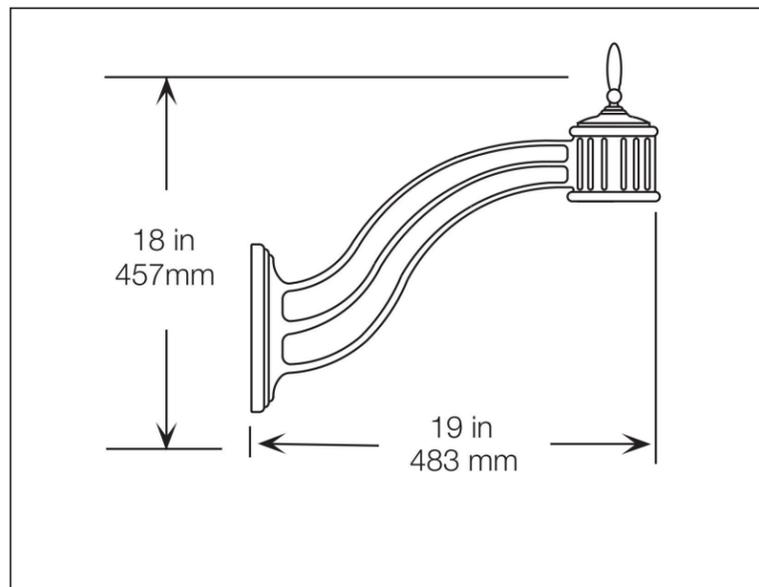
CONVENT WINDOW COLOR - SAHARA SAND



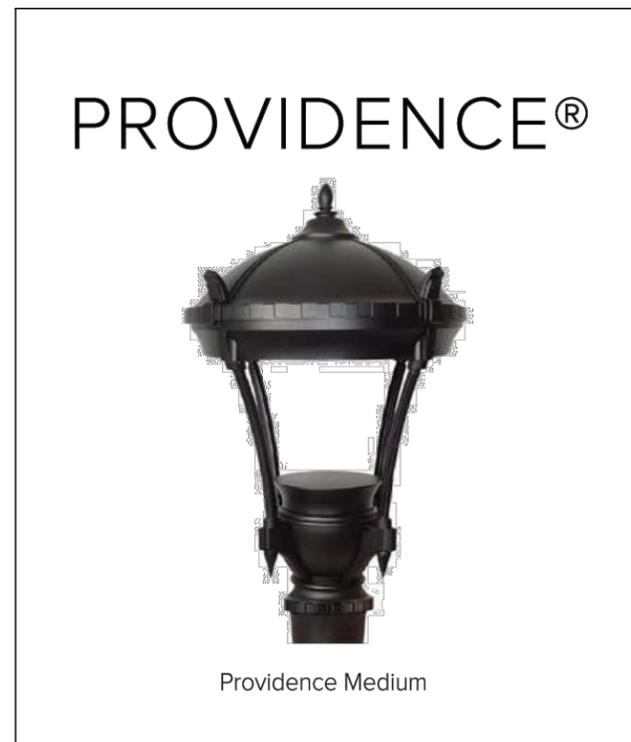
SCHOOL WINDOW COLOR - ANTIQUE BRONZE



DECORATIVE METAL FENCE - 4' HIGH



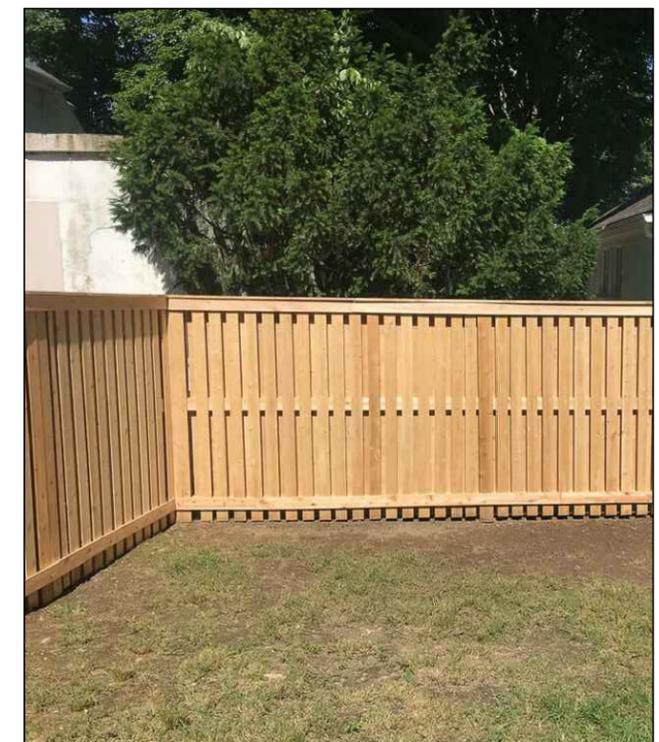
EXTERIOR LIGHT ARM



EXTERIOR WALL MOUNTED SITE LIGHT



SITE BENCH



BOARD-ON-BOARD FENCE - 6' HIGH

PROPOSED MATERIALS

INTERIOR DEMOLITION KEYED NOTES CONTINUED

- D15 REMOVE EXISTING NON-HISTORIC CONCRETE FLOOR INFILL BETWEEN 2ND AND 3RD FLOORS, ASSOCIATED METAL DECKING, AND STEEL STRUCTURE. PATCH AND REPAIR WALLS AS REQUIRED TO RESTORE TWO-STORY ATRIUM SPACE.
- D16 REMOVE EXISTING 5TH FLOOR EXTERIOR WALLS, AND ROOF ACCESS DORMERS.
- D17 REMOVE EXISTING RAMPED FLOOR TO ELEVATOR AND EXISTING 5TH FLOOR ELEVATOR SILL AND EXTEND OPENING DOWN TO MATCH 5TH FLOOR FINISHED FLOOR ELEVATION.
- D18 REMOVE EXISTING ROOFTOP HVAC UNIT AND SUPPORT STRUCTURE.
- D19 REMOVE EXISTING UTILITIES ROUTED ACROSS THE EXISTING ROOF.
- D20 REMOVE AND REPLACE EXISTING LIGHTNING PROTECTION SYSTEM.
- D21 EXISTING HISTORIC DOORS AND SIDELITES TO REMAIN. PROTECT IN PLACE THROUGHOUT DEMOLITION, AND CONSTRUCTION.
- D22 REMOVE EXISTING DOOR. MAINTAIN EXISTING FRAME.
- D23 REMOVE EXISTING NON-HISTORIC FINISHED FLOORING AND BASE. INFILL ABANDONED OPENINGS TO MATCH SLAB AND PREP CONCRETE SUBFLOOR TO BE POLISHED.
- D24 NEW OPENING TO BE CUT INTO EXISTING CONSTRUCTION.
- D25 EXISTING ROOF HATCH TO REMAIN. FLASH INTO NEW ROOF AS REQUIRED
- D26 EXISTING HISTORIC DECORATIVE PLASTER CEILING TO REMAIN AND BE PROTECTED IN PLACE. PROVIDE NEW LED LIGHTING AT EXISTING FIXTURE LOCATIONS.
- D27 EXISTING STAIR AND RAILING TO REMAIN.

INTERIOR CONSTRUCTION GENERAL NOTES

- 1. PROVIDE NEW CONSTRUCTION AS INDICATED ON PLANS TO ACCOMMODATE NEW DESIGN. PATCH EXISTING CONSTRUCTION INDICATED TO REMAIN WHERE DISTURBED BY DEMOLITION ACTIVITIES.
- 2. PROVIDE NEW BUILDING MECHANICAL SYSTEMS THROUGHOUT. COMMON AREAS SHALL RECEIVE DUCTED FORCED AIR HEATING AND COOLING VIA ROOFTOP MOUNTED EQUIPMENT ROUTED DOWN THROUGH UTILITY CORRIDORS NOTED ON THE PLANS. UNITS SHALL RECEIVE SPLIT SYSTEMS WITH A DEDICATED OUTDOOR ROOFTOP UNIT CONNECTED VIA REFRIGERANT PIPING TO INSUITE UNITS CONCEALED IN CONSTRUCTION. OCCUPANT CONTROLS SHALL BE VIA WALL MOUNTED THERMOSTATS. EXHAUST VENTILATION FOR UNITS AND COMMON AREAS SHALL TYPICALLY BE ROUTED THROUGH THE ROOF WITHIN STACKED UNITS; ALTERNATELY EXISTING OPENINGS IN THE SCHOOL EXTERIOR WALL ORIGINALLY USED AS RADIATOR AIR INTAKE MAY BE USED FOR EXHAUST VENTILATION.

- 3. PROVIDE NEW BUILDING PLUMBING SYSTEMS THROUGHOUT. WATER ENTRY INTO THE BUILDING SHALL BE MAINTAINED IN THE FIRST FLOOR EXISTING MECHANICAL ROOM. COMMON AREAS AND UNITS SHALL RECEIVE DOMESTIC HOT WATER VIA A GAS FIRED HOT WATER HEATER AND STORAGE TANK. ISOLATION VALVES SHALL BE PROVIDED AT ENTRY INTO EACH UNIT WITH LOCAL SHUT OFF VALVES AT EACH FIXTURE. SANITARY LINES SHALL BE ROUTED TO THE EXISTING SANITARY MAIN IN THE FIRST FLOOR OF THE SCHOOL AND THE LOWER LEVEL OF THE CONVENT. CONTRACTOR SHALL JET AND CAMERA EXISTING SANITARY LINES OUT TO MAIN TO CONFIRM INTEGRITY EXISTING PIPING.
- 4. PROVIDE NEW BUILDING ELECTRICAL, AND TELE/DATA UTILITIES THROUGHOUT INCLUDING POWER, COMMUNICATION, AND LOW VOLTAGE WIRING, METER CENTERS, AND LOAD CENTERS. COMMON AREAS SHALL RECEIVE DEDICATED PANELS AND DISCONNECTS IN THE MECHANICAL ROOM WHILE EACH UNIT SHALL RECEIVE A DEDICATED PRE-FINISHED WHITE 100A LOAD CENTER WITHIN EACH UNIT. RECEPTACLES SHALL BE TAMPER-PROOF AFCI TYPE; FIXTURES WITHIN 10 FEET OF A PLUMBING FIXTURE SHALL BE GFCI TYPE. COMMON AREAS SHALL BE PROVIDED WITH TELE/DATA RECEPTACLES IN EACH SPACE WIRED TO MAIN BACKBOARD IN MECHANICAL ROOM. UNITS SHALL ALSO BE WIRED BACK TO BACKBOARD IN MECHANICAL ROOM ADJACENT TO UTILITY COMPANY BACKBOARD. UTILITIES SHALL BE ROUTED IN SOFFITS ON UNIT SIDE OF CORRIDOR WALLS TO UTILITY CORRIDORS NOTED ON THE PLANS.
- 5. PROVIDE NEW LED ENERGY STAR CERTIFIED LIGHT FIXTURES THROUGHOUT. UNITS SHALL RECEIVE ROCKER SWITCH CONTROLS. COMMON AREAS SHALL RECEIVE OCCUPANCY SENSORS AND/OR SWITCHES AND SELECTED FIXTURES ALONG EGRESS ROUTES SHALL BE ON A "NIGHT-LIGHT" CIRCUIT TO REMAIN ON AND PROVIDE MINIMUM REQUIRED ILLUMINATION.
- 6. PROVIDE NEW NFPA 13 FIRE PROTECTION SPRINKLER SYSTEM THROUGHOUT BUILDING, STANDPIPES, SMOKE DETECTORS, CO DETECTORS, AND FULLY ADDRESSABLE FIRE ALARM SYSTEM. SMOKE DETECTORS IN TYPICAL UNITS SHALL BE INTERCONNECTED TO EACH OTHER; SMOKE DETECTORS IN ADA UNITS SHALL BE TIED TO FIRE ALARM SYSTEM. MAIN FIRE PROTECTION AND FIRE ALARM UTILITIES IN COMMON AREAS SHALL BE ROUTED HORIZONTALLY IN SOFFITS ON UNIT SIDE OF CORRIDOR WALL.
- 7. REMOVE EXISTING NON-HISTORIC ALUMINUM WINDOWS, STOREFRONT, AND CURTAINWALL IN SCHOOL BUILDING DOWN TO ORIGINAL ROUGH OPENING. REMOVE EXISTING HISTORIC STEEL CASEMENT WINDOWS IN CONVENT BUILDING DOWN TO ORIGINAL ROUGH OPENING DUE TO EXTENT OF DETERIORATION AND QUANTITY OF MISSING SASHES. RETAIN, SALVAGE, AND RESTORE HISTORIC INTERIOR SILLS. RETAIN AND RESTORE EXISTING HISTORIC EXTERIOR STONE AND BRICK SILLS, HEAD COURSING, AND LINTELS. TAKE CARE NOT TO DAMAGE EXISTING MATERIALS TO REMAIN. PREPARE OPENING FOR NEW OPERABLE METAL WINDOW INSTALLATION MATCHING CHARACTERISTICS OF HISTORIC WINDOWS. REFER TO WINDOW TYPES FOR NEW WINDOW CONFIGURATIONS. NEW WINDOWS TO INCLUDE CLEAR INSULATED GLAZING UNITS AND STANDARD INSECT SCREENS UNLESS OTHERWISE NOTED.
- 8. REMOVE EXISTING LOWER LEVEL GLASS BLOCK IN THE CONVENT DOWN TO ROUGH OPENING. PREPARE FOR INSTALLATION OF NEW ALUMINUM CASEMENT WINDOWS TO MATCH UPPER FLOOR NEW WINDOWS. PROVIDE NEW WINDOW SILLS TO MATCH EXISTING.

- 9. EXISTING WINDOW SILLS SHALL BE MAINTAINED AND SALVAGED FOR REINSTALLATION TO ACCOMMODATE WINDOW REPLACEMENT AS NEEDED.

INTERIOR CONSTRUCTION KEYED NOTES

- C1 PRESERVE, RESTORE, AND PROTECT HISTORIC STAIRWELLS, INCLUDING WALLS, WALL TRIM, HAND RAILINGS, AND STAIR TREAD & RISER SURFACES DURING DEMOLITION, ABATEMENT, AND CONSTRUCTION ACTIVITIES. NON-HISTORIC RESILIENT TREADS APPLIED OVER TERRAZZO TREADS SHALL BE REMOVED.
- C2 PRESERVE, RESTORE, AND PROTECT HISTORIC PLASTER WALLS/COLUMNS, TILE INLAY FLOOR, STAIRS AND HANDRAIL AT ENTRY HALL.
- C3 PRESERVE, RESTORE, AND PROTECT HISTORIC PROSCENIUM ARCH, STAGE FRONT, AND DECORATIVE PLASTER SURROUND IN THE AUDITORIUM.
- C4 PROVIDE NEW PAINTED DRYWALL PARTITION AT THE BACK OF THE PROSCENIUM ARCH. CONSTRUCTION AND ANCHORAGE OF NEW PARTITION SHALL NOT DISTURB EXISTING HISTORIC DECORATIVE PLASTER.
- C5 MAINTAIN EXISTING CMU WALL UNDER MEZZANINE AT REAR OF AUDITORIUM. PROVIDE NEW PAINTED DRYWALL ON 3-5/8" METAL FURRING OVER EXISTING CMU.
- C6 PROVIDE NEW CONCRETE FLOOR AT BACK 9 FEET OF STAGE (FULL WIDTH OF STAGE).
- C7 NEW 6'-0" WIDE X 7'-0" HIGH OVERHEAD COILING DOOR MOUNTED TO INTERIOR FACE OF EXTERIOR WALL. NEW OPENING SHALL BE CENTERED ON THE EXISTING EXTERIOR BAY. COLOR TO MATCH SURROUNDING MASONRY MATERIAL.
- C8 PROVIDE NEW APARTMENT TYPES AS INDICATED ON THE PLANS AND AS DETAILED ON THE ENLARGED UNIT PLAN SHEETS. WHERE NEW UNIT WALLS TERMINATE AT A WINDOW MULLION THE WALL PARTITION SHALL BE EQUAL TO OR LESS THAN THE THICKNESS OF THE WINDOW MULLION.
- C9 PROVIDE NEW PAINTED DRYWALL PARTITIONS, DOORS, FRAMES, FIXTURES, AND CASEWORK AS INDICATED ON PLANS.
- C10 LOBBY STAIR: PROVIDE NEW CONCRETE STAIRS WITH RESILIENT TREADS AND RISERS AND STAINED WOOD HANDRAIL.
- C11 ELEVATOR: MODERNIZE ELEVATOR INCLUDING NEW CAB FINISHES, CONTROLS, AND LIGHTING. ADJUST 5TH FLOOR DOOR OPENING AND

SILL TO ALIGN WITH EXISTING 5TH FLOOR ELEVATION.

- C12 MECHANICAL: PROVIDE NEW CENTRALIZED WATER HEATER EQUIPMENT AND INFRASTRUCTURE, NEW ELECTRICAL AND TELE/DATA SYSTEMS.
- C13 VESTIBULE: MAINTAIN EXISTING EXPOSED MASONRY. PATCH, REPAIR, AND PAINT EXISTING DRYWALL WALLS AND CEILING. REMOVE AND REPLACE EXISTING NON-HISTORIC TILE FLOOR AND BASE WITH NEW RESILIENT FLOORING AND WOOD BASE.
- C14 FIRST FLOOR COMPACTOR AND TRASH: PROVIDE NEW MASONRY PARTITIONS, CONCRETE FLOOR, OVERHEAD COILING DOOR, FIRE RATED CEILING ASSEMBLY, NEW APARTMENT SIZED COMPACTOR WITH TWO 2 CY WASTE CONTAINERS, AND WASTE CHUTE EXTENDING TO ALL FLOORS AND THROUGH 5TH FLOOR ROOF.
- C15 MAINTAIN EXISTING UTILITY CORRIDORS. PAINT EXISTING WALLS, AND EXISTING PLASTER CEILING, PROVIDE NEW RESILIENT FLOORING AND RESILIENT BASE, AND NEW 90 MINUTE FIRE RATED DOORS AND FRAMES AT THE CORRIDOR. UTILITY CORRIDORS SHALL PROVIDE DISTRIBUTION ROUTE FOR NEW UTILITIES AS NEEDED.
- C16 MEZZANINE GUARD WALL TO REMAIN AND BE PROTECTED IN PLACE. REMOVE EXISTING PIPE RAILING, PATCH, REPAIR, AND PAINT CAP. REFINISH ENTIRE GUARD WALL.
- C17 MEZZANINE TERRACING AND SEATING REMOVED DOWN TO FLOOR STRUCTURE IN LINE WITH SECOND FLOOR FINISHED FLOOR. NEW MEZZANINE AREA TO RECEIVE SPORT FLOORING WITH WALKING TRACK, AND PAINTED PLASTER WALLS.
- C18 PRESERVE EXISTING CORRIDOR PLASTER WALLS, TRANSOM FRAMING AND INFILL PANELS. INFILL OPENINGS WHERE NON-HISTORIC DOORS AND FRAMES ARE REMOVED WITH CONSTRUCTION THAT IS FLUSH WITH AND FINISHED TO MATCH EXISTING. WHERE THEY EXIST, NON-HISTORIC SUSPENDED ACOUSTIC AND DRYWALL CEILINGS TO BE REMOVED AND EXISTING HISTORIC PLASTER CEILING TO REMAIN AND BE PROTECTED IN PLACE. CORRIDORS TO RECEIVE 1x6 STAINED CHAIR RAIL ON ALL CORRIDOR WALLS AT 34" AFF TO TOP; BRACKET MOUNTED STAINED WOOD HANDRAIL TO BE PROVIDED ON ONE SIDE OF EACH CORRIDOR AS INDICATED BY DASHED LINE.
- C19 NEW APARTMENT ENTRY WITH NEW WALL SCONCE, AND NEW WOOD DOOR AND METAL FRAME.
- C20 NEW HOLLOW METAL INTERIOR EGRESS DOORS AND FRAMES.
- C21 NEW ALUMINUM 3/4 LITE DOOR(S) AND ALUMINUM FRAME.
- C22 NEW INSULATED HOLLOW METAL DOOR AND FRAME PAINTED TO MATCH SURROUNDING EXTERIOR MATERIAL.

INTERIOR CONSTRUCTION KEYED NOTES CONTINUED

- C23 NON-HISTORIC FLOOR AND STRUCTURE INFILL BETWEEN 2ND AND 3RD FLOORS TO BE REMOVED. PATCH AND REFINISH FLOOR AND WALLS EXPOSED FROM INFILL REMOVAL. PROVIDE NEW GLASS AND ALUMINUM GUARDRAIL WITH ALUMINUM CAP AT 3RD FLOOR BALCONY.
- C24 EXISTING WATER DAMAGED PLASTER TO BE FULLY REMOVED FROM INTERIOR FACE OF EXTERIOR WALL. EXISTING EXTERIOR WALL TO BE PROVIDED WITH NEW VAPOR BARRIER, CONTINUOUS THERMAL INSULATION, FURRING AND PAINTED DRYWALL.
- C25 MULTIPLE TOWER "FLOOR" ASSEMBLIES TO BE PROVIDED WITH NEW MEMBRANE ROOF ASSEMBLY, TAPERED INSULATION, AND EXTERIOR GRADE SHEATHING.
- C26 EXISTING HISTORIC DOORS AND SIDELIGHTS TO REMAIN, BE PROTECTED IN PLACE, BE REFINISHED, AND SHALL RECEIVE NEW HARDWARE.
- C27 NEW 5 STOP MACHINE ROOMLESS ELEVATOR, CMU HOISTWAY, CONCRETE PIT, WITH SMOOTH FIBER-CEMENT PANEL SIDING AND METAL TRIM/REVEALS.
- C28 NEW ONE-STORY ENTRY LOBBY, WITH ALUMINUM 3/4 LITE ENTRY DOORS, ALUMINUM FRAMES, LOW-SLOPE ROOF WITH ALUMINUM GUTTERS AND DOWNSPOUTS TIED TO SITE STORMWATER MANAGEMENT SYSTEM, ALUMINUM WRAPPED WOOD FASCIA, AND SMOOTH FIBER-CEMENT PANEL SIDING AND METAL TRIM/REVEALS.
- C29 NEW 4C STANDARD HORIZONTAL MAILBOXES WITH 2 PARCEL BOXES, AND PLAM SHELF.
- C30 NEW CONCRETE STAIRS.
- C31 NEW CORRIDOR TO RECEIVE 1X6 STAINED CHAIR RAIL ON ALL CORRIDOR WALLS AT 34" AFF TO TOP; BRACKET MOUNTED STAINED WOOD HANDRAIL TO BE PROVIDED ON ONE SIDE OF EACH CORRIDOR AS INDICATED BY DASHED LINE.
- C32 NEW PAINTED DRYWALL INFILL AT EXISTING METAL FRAME TO REMAIN. PROVIDE WALL BASE TO MATCH NEW WALL BASE IN CORRIDOR.
- C33 INFILL LOWER SLAB AREA WITH STONE BASE AND PROVIDE NEW 4" REINFORCED CONCRETE SLAB TO MATCH EXISTING FIRST FLOOR ELEVATION.

SCHOOL INTERIOR FINISH SCHEDULE

- 1. APARTMENTS
 FLOOR: EXISTING TERRRAZZO FLOORING AND BASE SHALL REMAIN, BE CLEANED OF ALL APPLIED MATERIALS AND DEBRIS, AND BE PROTECTED IN PLACE. OTHER APARTMENT FLOORS EXCEPT BATHROOMS SHALL RECEIVE LUXURY VINYL PLANK WOOD LOOK FLOORING 4" X 36" SIZE WITH EITHER RESILIENT WALL BASE OR PAINTED WOOD BASE. BATHROOMS WITHOUT EXISTING TERRAZZO FLOOR SHALL RECEIVE NEW RESILIENT SHEET FLOORING WITH INTEGRAL FLASH COVE BASE.

 WALLS: EXISTING EXTERIOR PLASTER WALLS TO REMAIN; PATCH, REPAIR, AND PAINT AS REQUIRED. INTERIOR DEMISING WALLS AT EXISTING BEARING WALLS SHALL RECEIVE NEW PAINTED DRYWALL ON FURRING FOR ROUTING UTILITIES. NEW INTERIOR DEMISING WALLS SHALL BE PAINTED 5/8" DRYWALL ON STAGGERED METAL STUD FRAMING WITH SOUND ATTENUATION BATT INSULATION AS REQUIRED TO ACHIEVE STC 50 AND IIC 50 RATINGS. ALL DEMISING WALLS SHALL EXTEND FROM THE FLOOR ASSEMBLY TO THE UNDERSIDE OF THE DECK ABOVE. NEW INTERIOR PARTITIONS SHALL EXTEND TO THE FINISHED CEILING ABOVE AND SHALL BE PAINTED 5/8" DRYWALL ON METAL STUD FRAMING.

 CEILINGS: EXISTING HISTORIC PLASTER CEILINGS AND PLASTER COVERED CONCRETE BEAMS SHALL REMAIN, BE PATCHED, REPAIRED, AND BE PROTECTED IN PLACE. EXISTING PLASTER SHALL BE PAINTED. WHERE INDICATED ON THE REFLECTED CEILING PLANS NEW SUSPENDED PAINTED 5/8" DRYWALL SOFFITS SHALL BE PROVIDED, AWAY FROM WINDOWS TO ROUTE NEW UTILITIES.
- 2. COMMON AND SUPPORT AREAS
 FLOOR: EXISTING TERRAZZO FLOORING AND BASE SHALL REMAIN, BE CLEANED OF ALL APPLIED MATERIALS AND DEBRIS, AND BE PROTECTED IN PLACE. OTHER COMMON PUBLIC AREAS SHALL TYPICALLY RECEIVE LUXURY VINYL PLANK WOOD LOOK FLOORING 4" X 36" SIZE WITH EITHER RESILIENT WALL BASE OR PAINTED WOOD BASE. COMMON AREAS PRONE TO MOISTURE SUCH AS TOILET ROOMS, AND LAUNDRY ROOMS SHALL RECEIVE RESILIENT SHEET FLOORING WITH INTEGRAL FLASH COVE BASE. WELLNESS AREA TO RECEIVE CUSHION BACKED RESILIENT SPORT FLOORING AND RESILIENT BASE. SUPPORT AREAS TO RECEIVE VCT FLOORING AND RESILIENT WALL BASE.

 WALLS: EXISTING PLASTER WALLS TO REMAIN; PATCH, REPAIR, AND PAINT AS REQUIRED. PROVIDE LIMITED PAINTED DRYWALL ON FURRING FOR ROUTING OF NEW UTILITIES. NEW INTERIOR WALLS AT COMMON AREAS SHALL BE PAINTED 5/8" DRYWALL ON METAL FRAMING WITH SOUND ATTENUATION BATT INSULATION. COMMON AREAS PRONE TO MOISTURE SUCH AS TOILET ROOMS AND LAUNDRY ROOMS SHALL RECEIVE EPOXY PAINT.

 CEILINGS: EXISTING HISTORIC PLASTER CEILINGS AND PLASTER COVERED CONCRETE BEAMS SHALL REMAIN, BE PATCHED, REPAIRED, AND BE PROTECTED IN PLACE. EXISTING PLASTER SHALL BE PAINTED. WHERE INDICATED ON THE REFLECTED CEILING PLANS NEW SUSPENDED PAINTED 5/8" DRYWALL SOFFITS SHALL BE PROVIDED, AWAY FROM WINDOWS TO ROUTE NEW UTILITIES.

CONVENT INTERIOR FINISH SCHEDULE

- 1. APARTMENTS
 FLOOR: EXISTING CONCRETE STRUCTURAL FLOORS THROUGHOUT TO REMAIN AND BE POLISHED FOR A FINISHED SURFACE. ALL FLOOR AREAS TO RECEIVE NEW RESILIENT WALL BASE OR PAINTED WOOD BASE.

 WALLS: EXISTING EXTERIOR PLASTER WALLS TO REMAIN; PATCH, REPAIR, AND PAINT AS REQUIRED. EXISTING EXPOSED CMU AT EXTERIOR WALLS SHALL BE COVERED WITH PAINTED 5/8" DRYWALL ON FURRING. INTERIOR DEMISING WALLS AT EXISTING BEARING WALLS SHALL RECEIVE NEW PAINTED DRYWALL ON FURRING FOR ROUTING UTILITIES. NEW INTERIOR DEMISING WALLS ON EXISTING BEARING WALLS SHALL BE PAINTED 5/8" DRYWALL ON FURRING AND SHALL ACHIEVE STC 50 AND IIC 50 RATINGS. NEW INTERIOR PARTITIONS SHALL EXTEND TO THE FINISHED CEILING ABOVE AND SHALL BE PAINTED 5/8" DRYWALL ON STUD FRAMING.

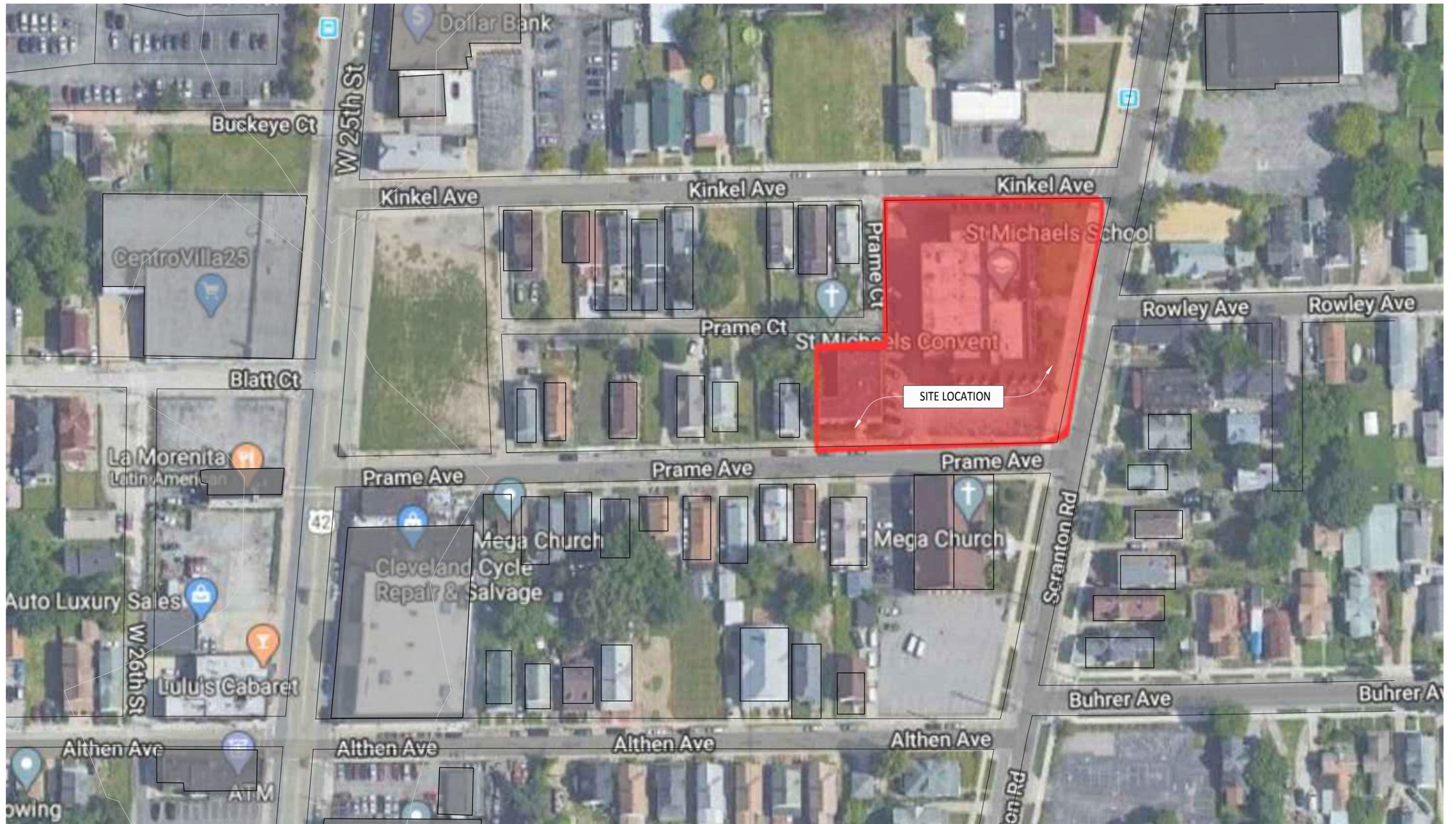
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- 2. COMMON AND SUPPORT AREAS
 FLOOR: EXISTING CONCRETE STRUCTURAL FLOORS THROUGHOUT TO REMAIN AND BE POLISHED FOR A FINISHED SURFACE. ALL FLOOR AREAS TO RECEIVE NEW RESILIENT WALL BASE OR PAINTED WOOD BASE.

 WALLS: EXISTING PLASTER WALLS TO REMAIN; PATCH, REPAIR, AND PAINT AS REQUIRED. PROVIDE LIMITED PAINTED DRYWALL ON FURRING FOR ROUTING OF NEW UTILITIES. NEW INTERIOR WALLS AT COMMON AREAS SHALL BE PAINTED 5/8" DRYWALL ON METAL FRAMING WITH SOUND ATTENUATION BATT INSULATION. COMMON AREAS PRONE TO MOISTURE SUCH AS TOILET ROOMS, TRASH ROOMS, AND UTILITY CLOSETS SHALL RECEIVE EPOXY PAINT.

 CEILINGS: EXISTING HISTORIC PLASTER CEILINGS AND PLASTER COVERED CONCRETE BEAMS SHALL REMAIN, BE PATCHED, REPAIRED, AND BE PROTECTED IN PLACE. EXISTING PLASTER SHALL BE PAINTED. WHERE INDICATED ON THE REFLECTED CEILING PLANS NEW SUSPENDED PAINTED 5/8" DRYWALL SOFFITS SHALL BE PROVIDED, AWAY FROM WINDOWS TO ROUTE NEW UTILITIES.

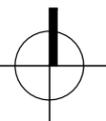
INTERIOR FINISH GENERAL NOTES

- 1. CEILINGS: PROTECT EXISTING HISTORIC PLASTER CEILINGS. REMOVE EXISTING NON-HISTORIC SUSPENDED ACOUSTIC AND SUSPENDED DRYWALL CEILINGS.
- 2. WALLS: PROTECT EXISTING HISTORIC PLASTER WALLS AND DETAILING.
- 3. FLOORS: PROTECT EXISTING HISTORIC TERRAZZO FLOORING, INLAY TILE FLOORING, AND TERRAZZO BASE IN PLACE THROUGHOUT THE DURATION OF DEMOLITION AND CONSTRUCTION.



1A SITE CONTEXT LOCATION MAP

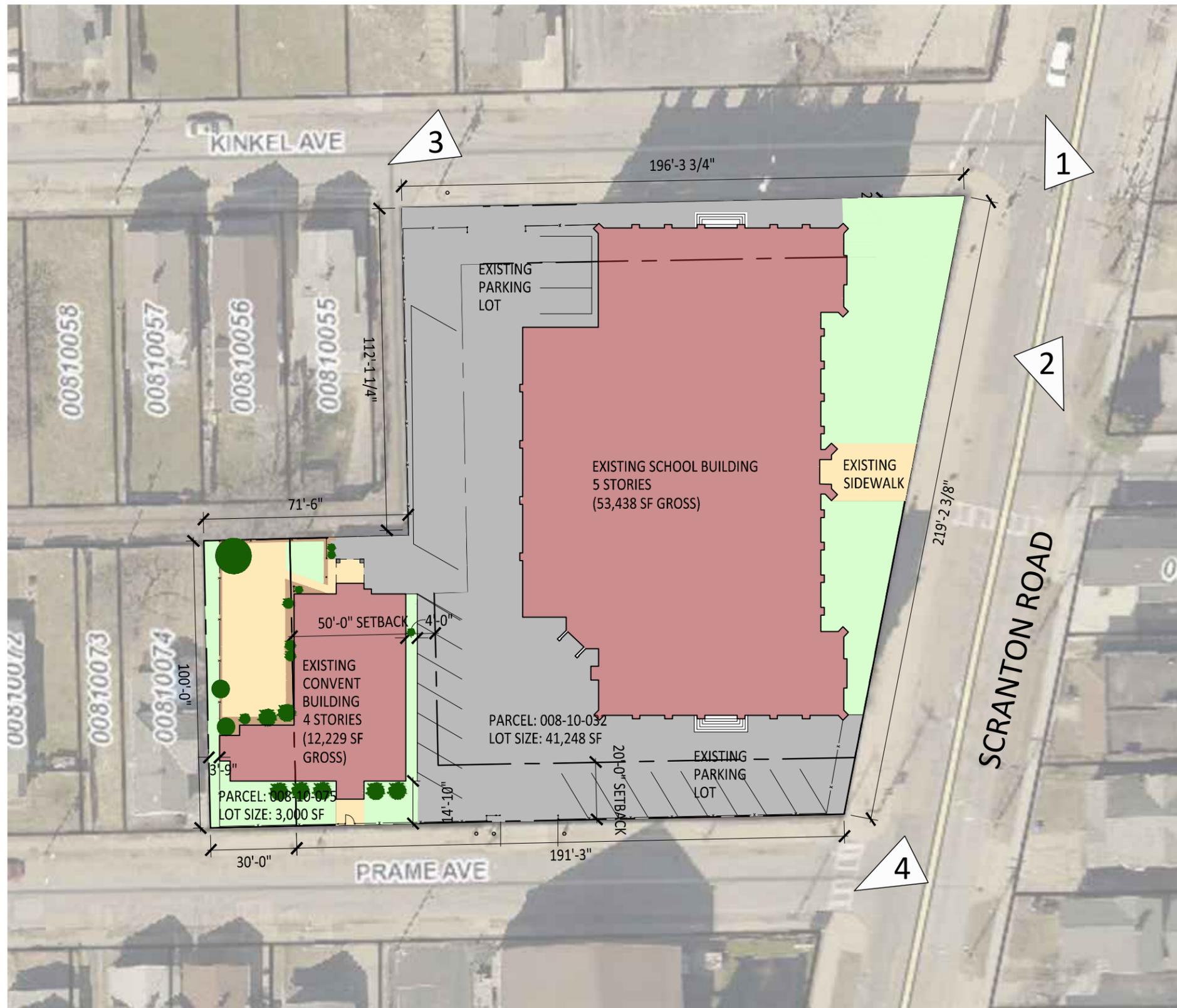
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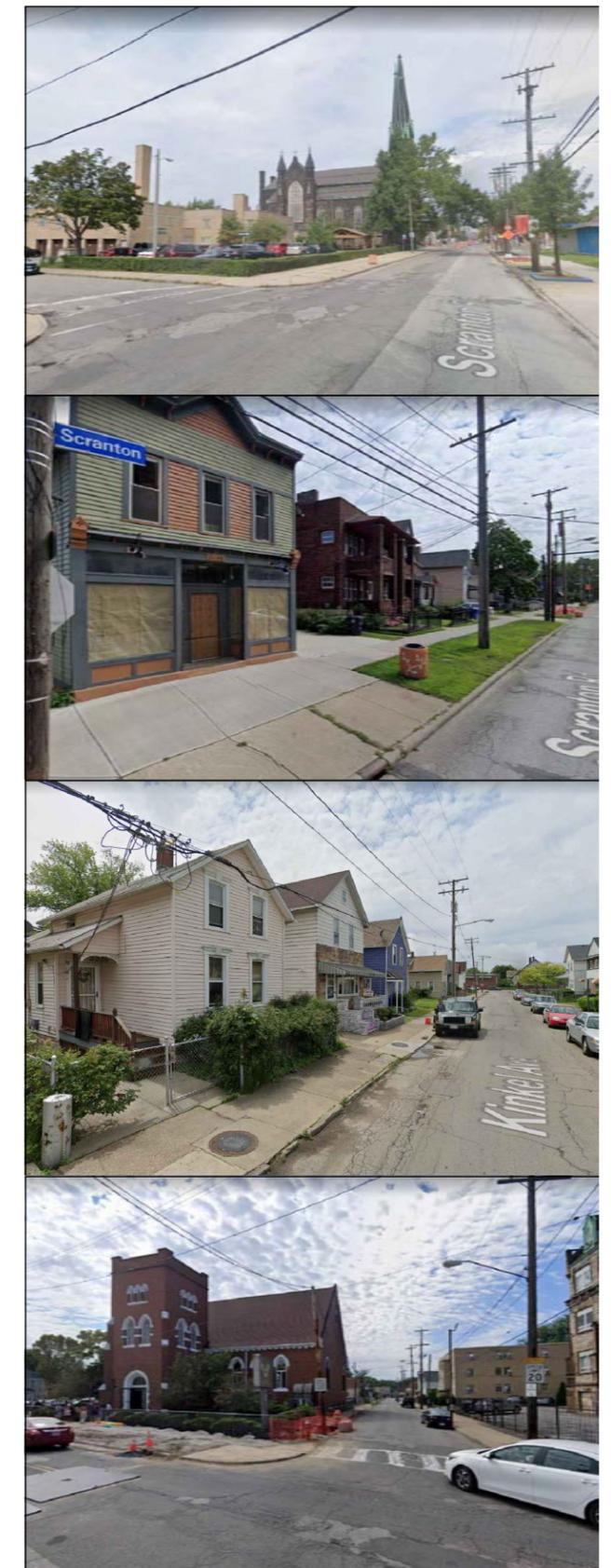
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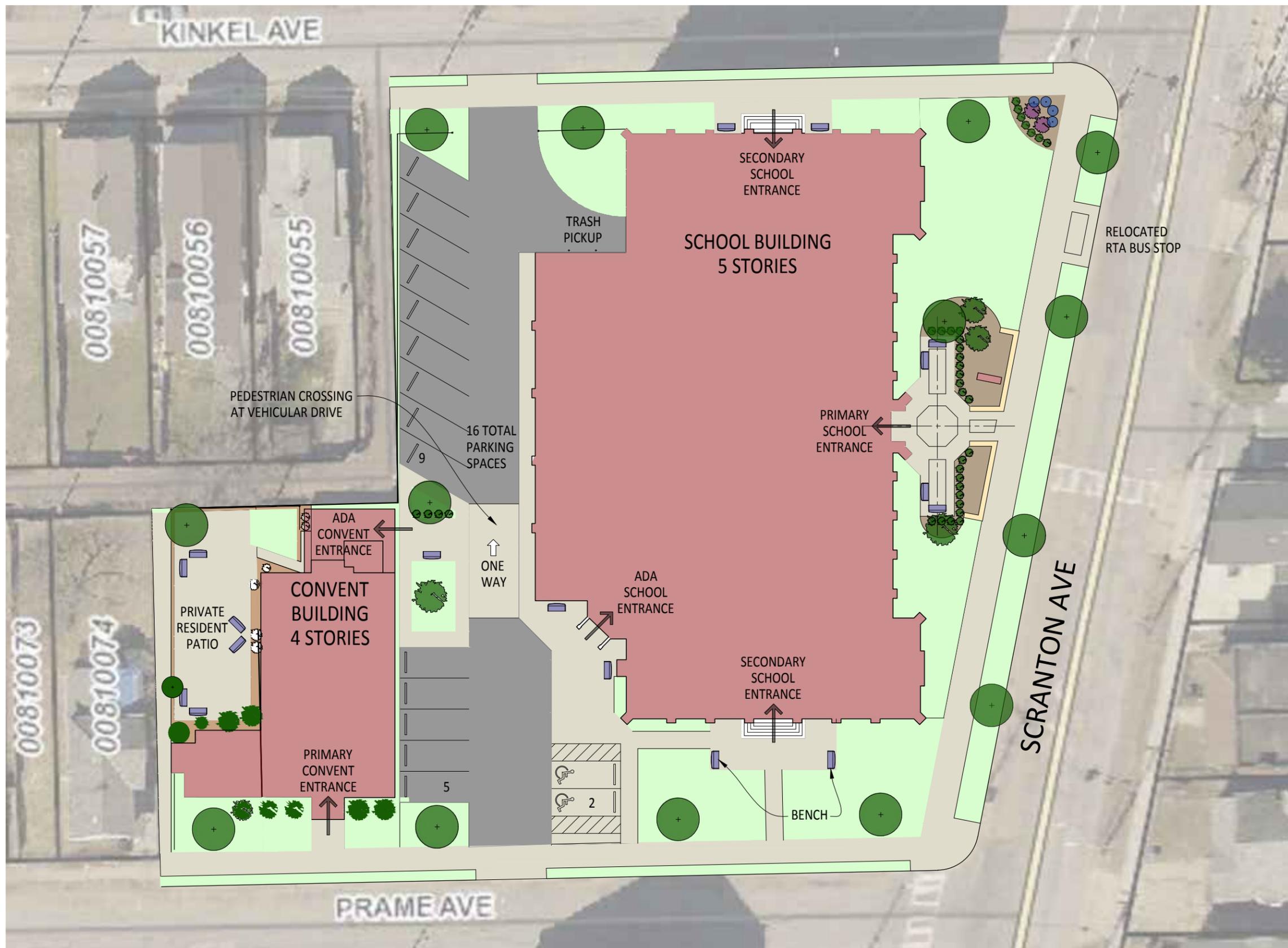
THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109 CHN HOUSING PARTNERSHIP
 NOVEMBER 19, 2020 HITI, DIFRANCESCO AND SIEBOL



1A EXISTING CONDITIONS SITE PLAN
1:40





PLANT SCHEDULE

KEY BOTANICAL/COMMON NAME

TREES

ACON	Abies concolor / Concolor White Fir
AG	Amelanchier x grandiflora 'Autumn Brilliance' / Serviceberry
BN	Betula nigra / River Birch
CA	Carpinus caroliniana / American Hornbeam
CV	Chionanthus virginiana / White Fringetree
MS	Magnolia stellata 'Royal Star' / Star Magnolia
NS	Nyssa sylvatica / Blackgum

SHRUBS

AU	Arctostaphylos uva-ursi 'Massachusetts' / Bearberry
ALS	Aronia melanocarpa Low Scape / Low Scape Chokeberry
CAL	Calliandra dichotoma 'Early Amethyst' / Beautyberry
CA	Clethra alnifolia 'Ruby Spice' / Ruby Spice Summersweet
HA	Hydrangea 'Annabelle' / Annabelle Hydrangea
HYP	Hypericum calycinum / Aaronsbeard St. Johnswort
IGL	Ilex crenata 'Great Lakes' / Green Luster Holly
IVR/IVS	Ilex vert. 'Red Sprite', 'Jim Dandy' / Winterberry
IT	Itea v. 'Little Henry' / Little Henry Dwarf Sweetspire
JGO	Juniperus v. 'Grey Owl' / Grey Owl Juniper
MP	Myrica pennsylvanica / Northern Bayberry
SB	Spiraea x bumalda 'Anthony Waterer' / Anthony Waterer
TME	Taxus x media 'Everlow' / Everlow Yew

PERENNIALS & GRASSES

ACH	Achillea x 'Sunny Seduction' / Yarrow
AST	Aster novi belgii hybrid / New York Aster
CAL	Calamagrostis acutifolia 'Karl Foerster' / Feather Reed Grass
COR	Coreopsis graniflora 'Early Sunrise' / Early Sunrise Coreopsis
ECH	Echinacea purpurea 'Magnus' / Purple Coneflower
GSA	Geranium snaguineum / Bloomy Cranesbill
HEL	Helleborus orientalis / Lenten Rose
HEM	Hemerocallis 'Rosy Returns' / Daylily
HOS	Hosta fortuneii 'Royal Standard' / Hosta
IRIS	Iris siberica / Siberian Iris
NEP	Nepeta faassenii 'Walker's Low' / Walker's Low Catmint
PAN	Panicum virgatum / Switch Grass
PS	Paeonia 'Duchess de Nemours' / Peony

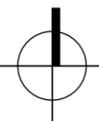
BULBS

NAR	Narcissus 'King Alfred' / Daffodil
-----	------------------------------------

LAWN

1A PROPOSED SITE PLAN

1:30

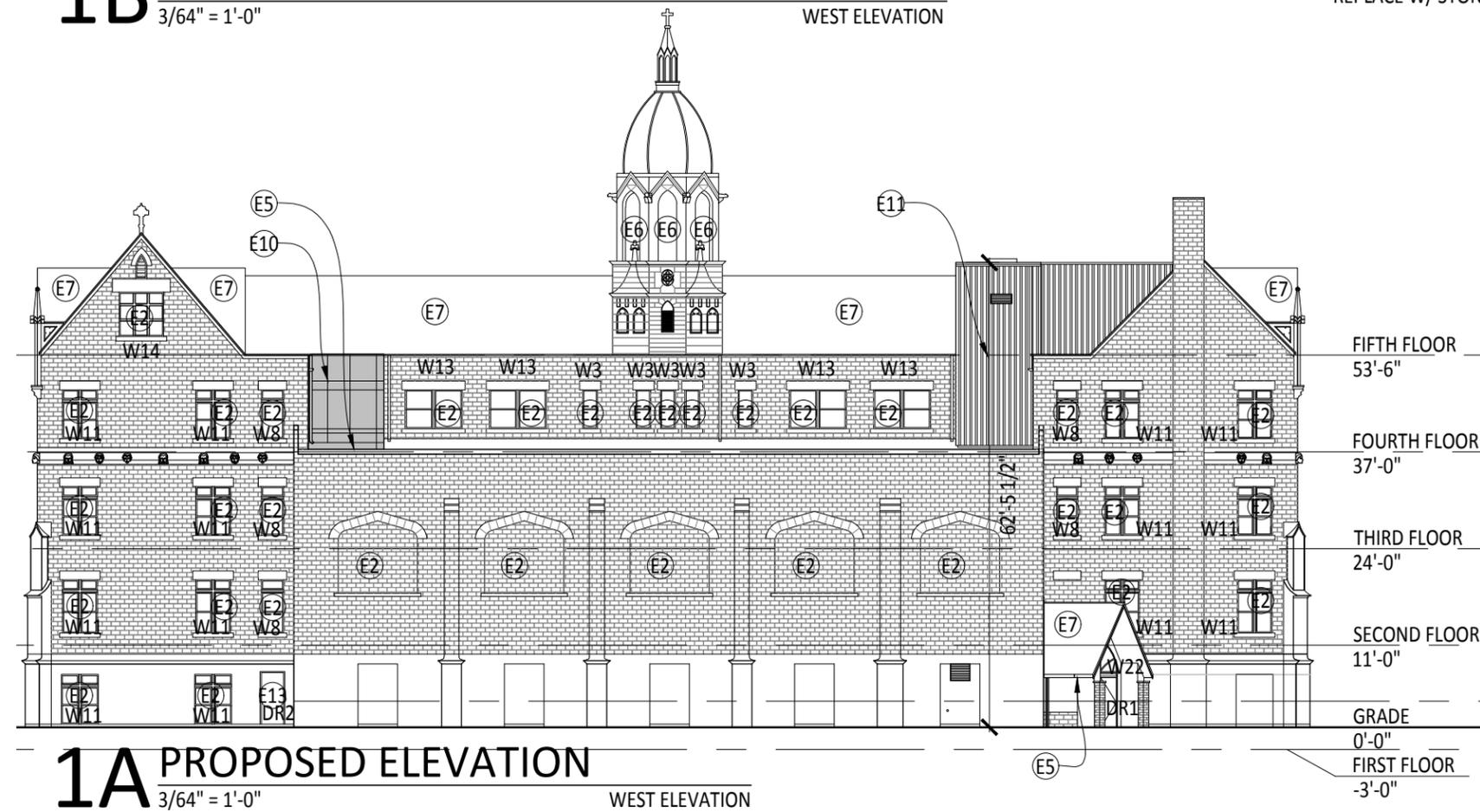
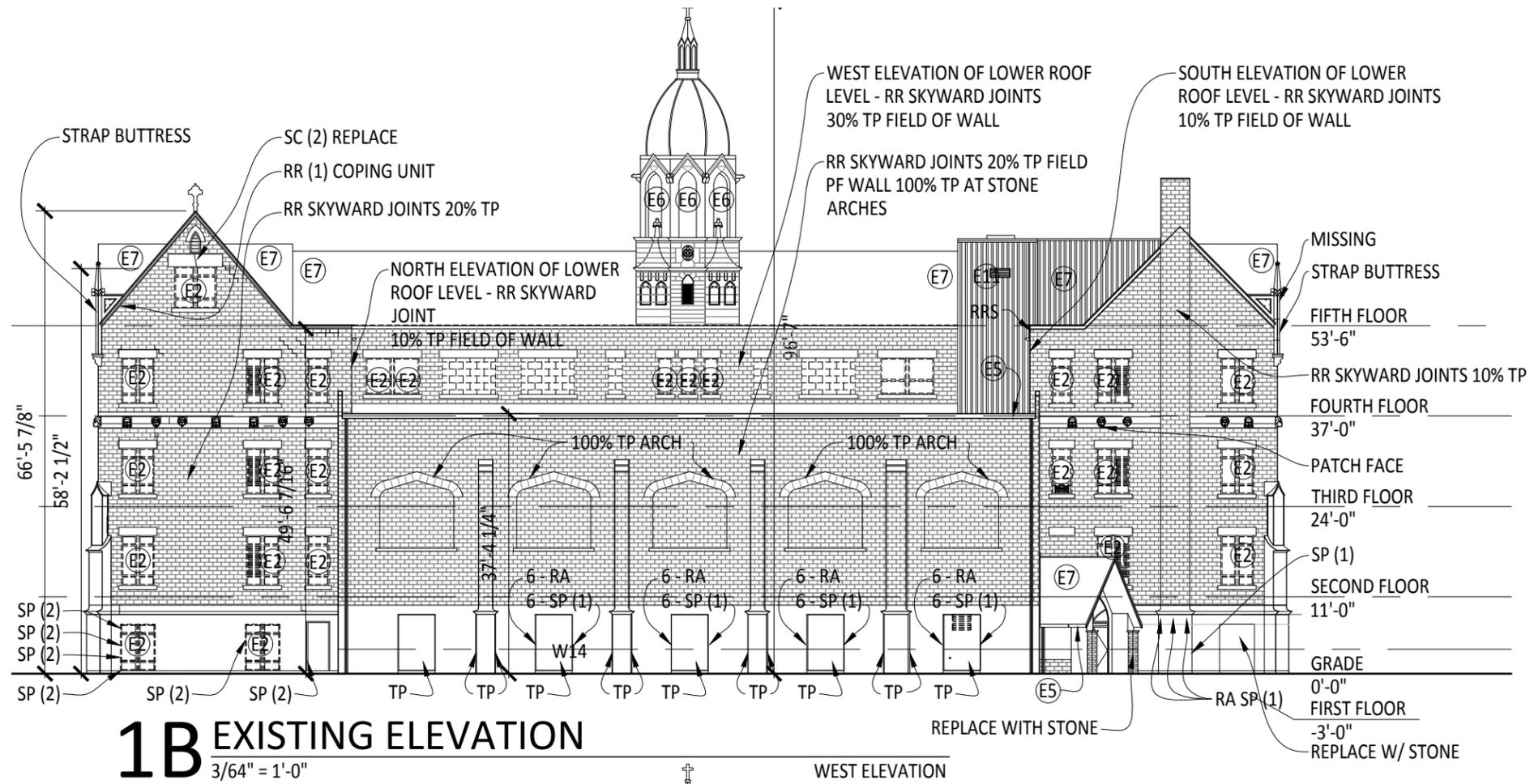


A
3.1

THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109
NOVEMBER 19, 2020

CHN HOUSING PARTNERS
HITI, DIFRANCESCO AND SIEBOLD, INC.



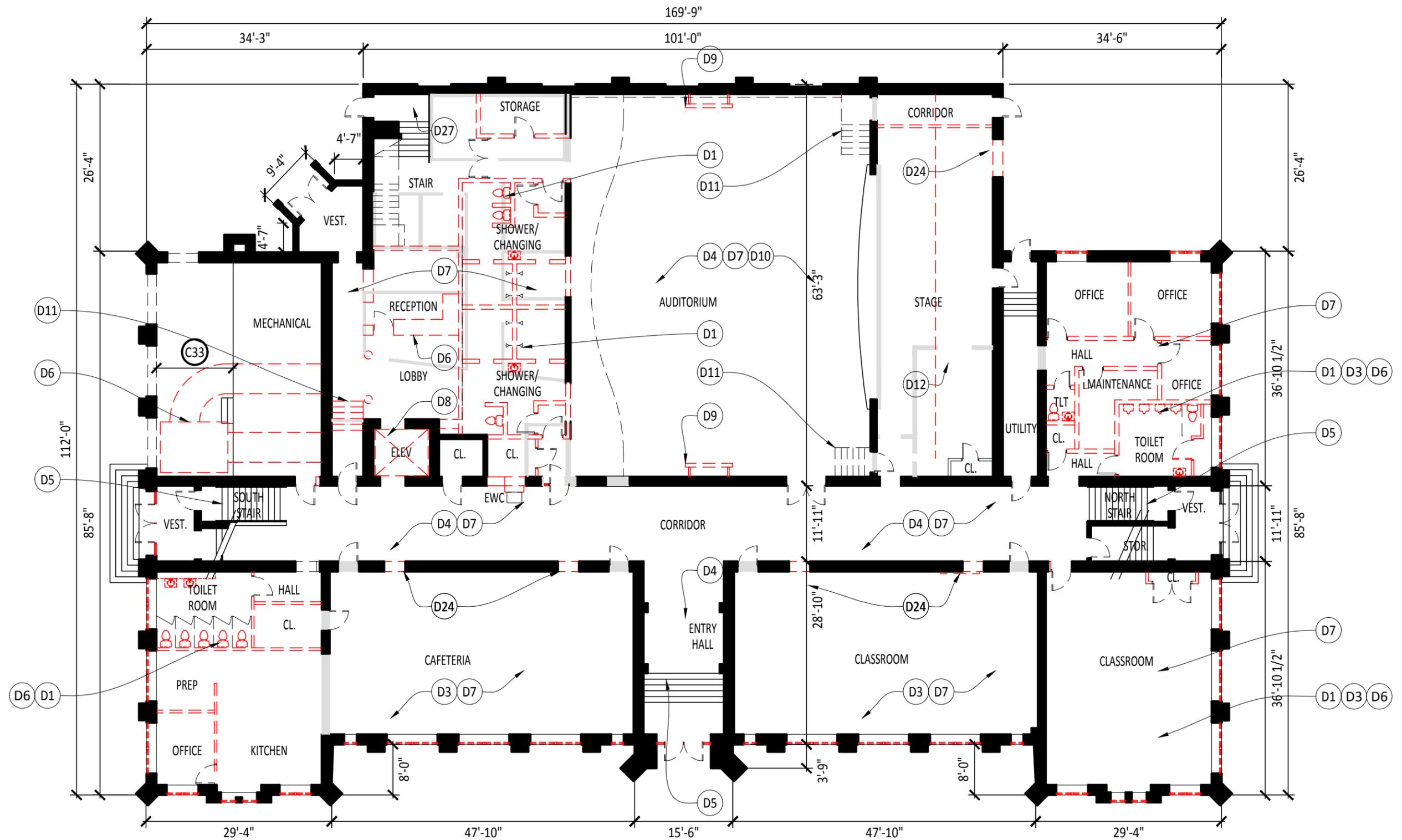
MASONRY REPAIR LEGEND

- RRS = REMOVE AND REPLACE SEALANT WITH MORTAR (TYP. LINE UNO)
- SC = STONE CRACK
- SP = STONE PATCH
- TP = TUCK POINTING
- RR = REMOVE AND REPLACE
- RRF = REMOVE AND REPLACE FACE
- RA = REMOVE ANCHOR
- SC (X) = LINEAR FEET OF STONE CRACK
- SP (X) = SQUARE FEET OF STONE PATCH
- RE = REMOVE AND REINSTALL
- RRM = REMOVE AND REPLACE MASONRY

A
6

THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109 CHN HOUSING PARTNERS
 NOVEMBER 19, 2020 HITI, DIFRANCESCO AND SIFROID, INC



NOTE: REFER TO G-000 SERIES SHEETS FOR GENERAL AND KEYED NOTES

BUILDING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED

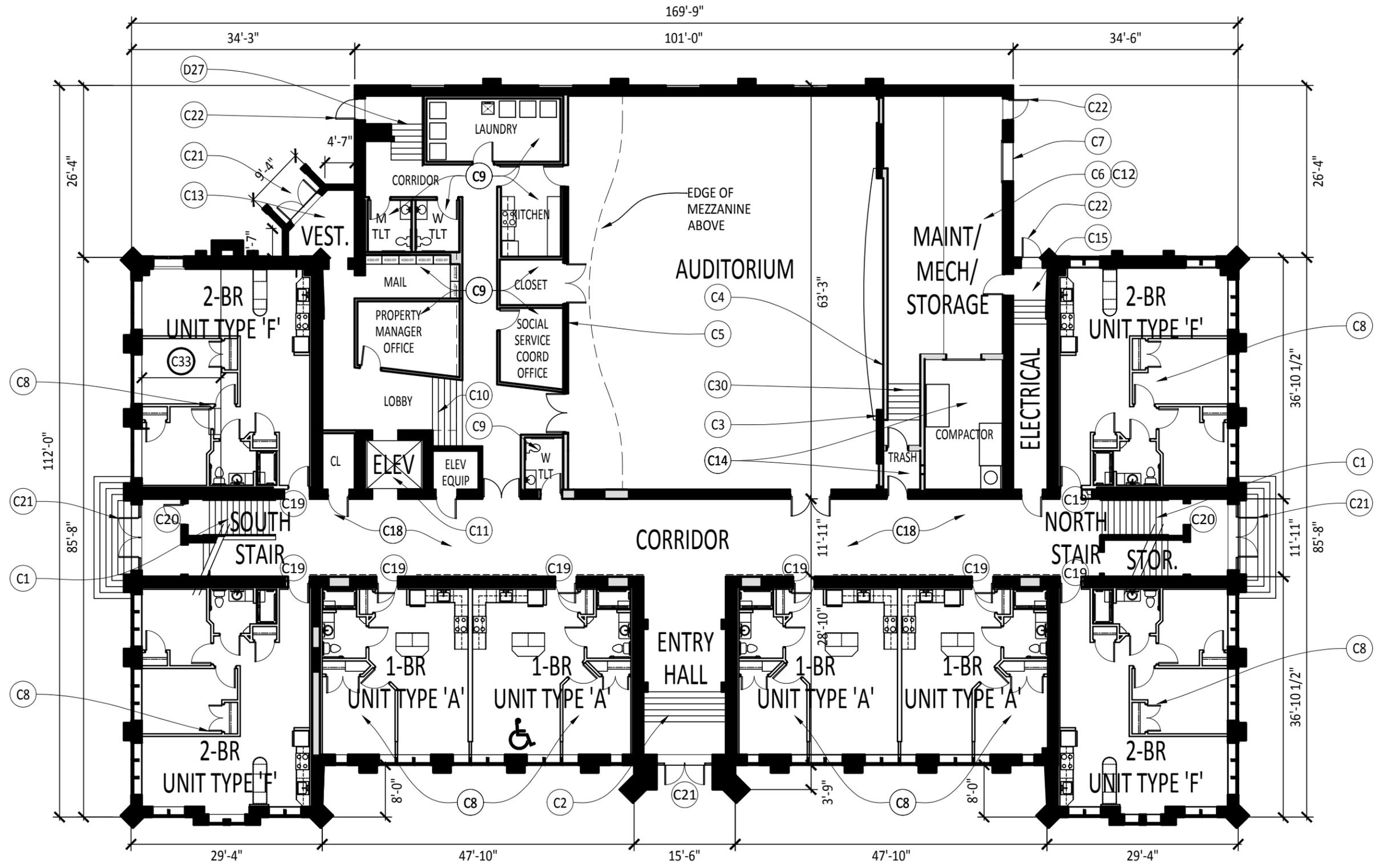
1A SCHOOL BUILDING
EXISTING FIRST FLOOR PLAN
1/16" = 1'-0"



A
7

THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109 CHN HOUSING PARTNERS
NOVEMBER 19, 2020 HITI, DIFRANCESCO AND SIEBOLD, INC.



NOTE: REFER TO G-000 SERIES SHEETS FOR GENERAL AND KEYED NOTES

BUILDING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW CONSTRUCTION

1A SCHOOL BUILDING
FIRST FLOOR PLAN
1/16" = 1'-0"

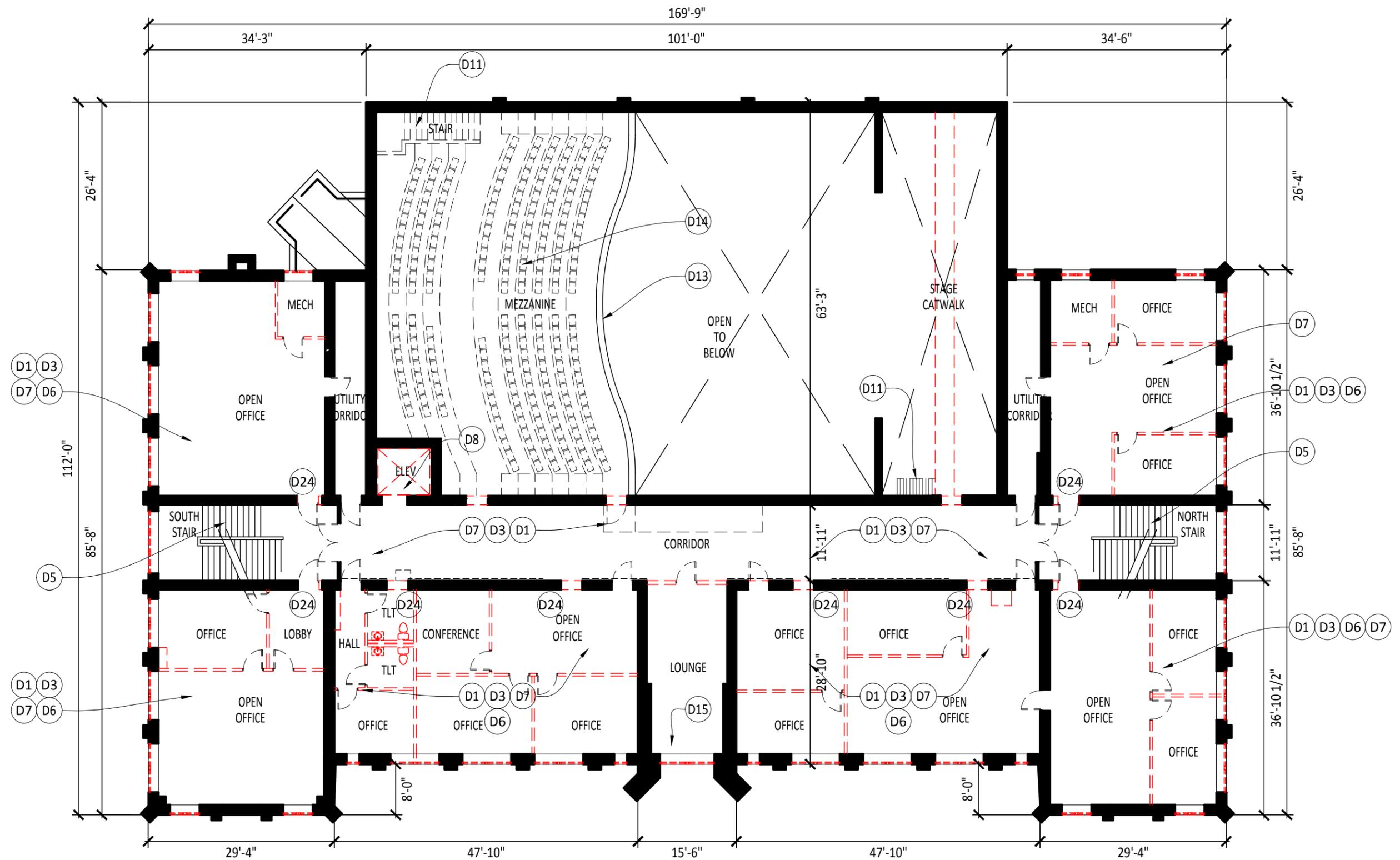


A
8

THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109
NOVEMBER 19, 2020

CHN HOUSING PARTNERS
HITI, DIFRANCESCO AND SIEBOLD, INC.



NOTE: REFER TO G-000 SERIES SHEETS FOR GENERAL AND KEYED NOTES

BUILDING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED

1A SCHOOL BUILDING EXISTING SECOND FLOOR PLAN

1/16" = 1'-0"



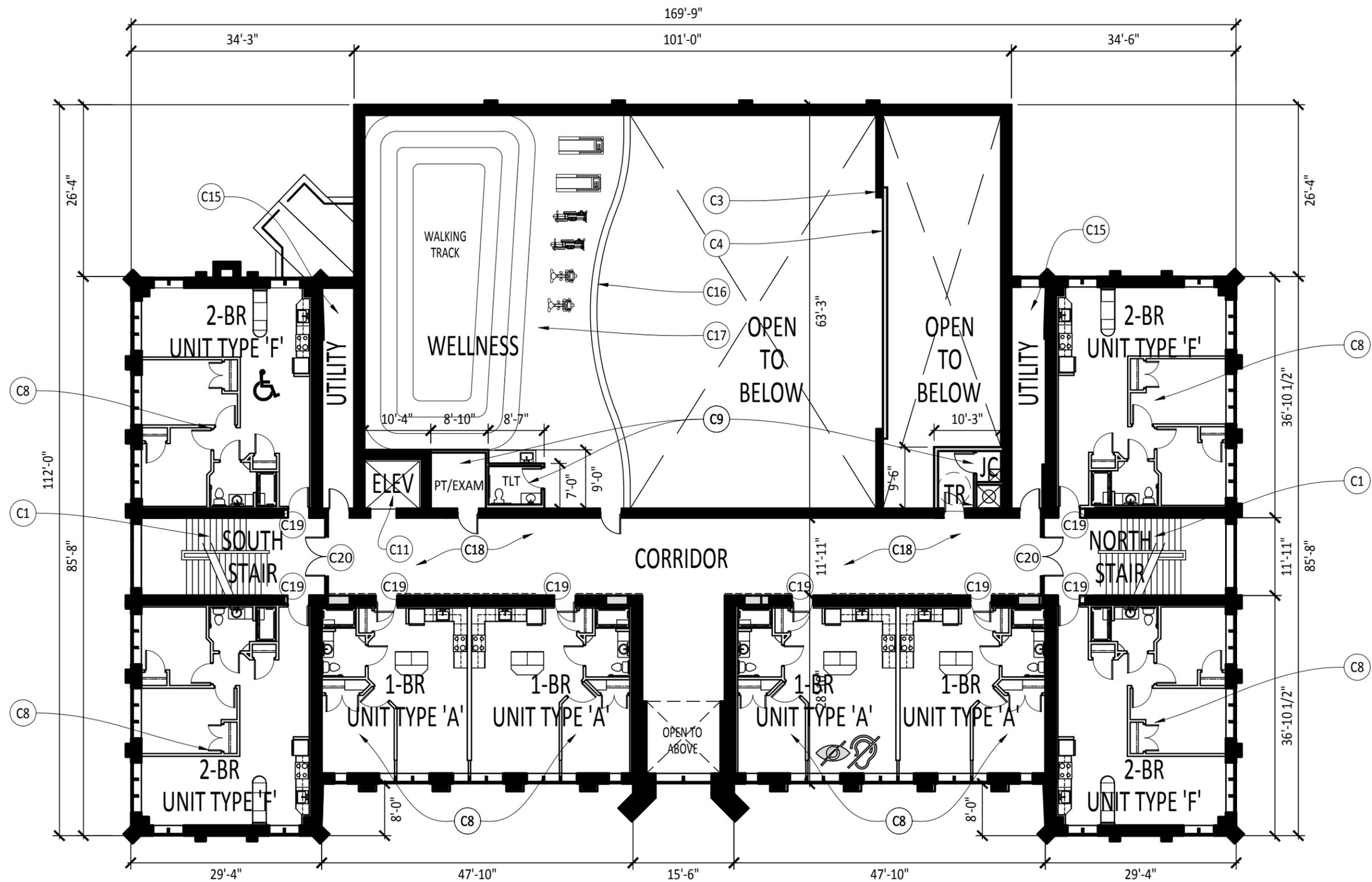
A

THE ARCH AT ST. MICHAEL

9

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109
NOVEMBER 19, 2020

CHN HOUSING PARTNERS
HITI, DIFRANCESCO AND SIEBOLD, INC.



NOTE: REFER TO G-000 SERIES SHEETS FOR GENERAL AND KEYED NOTES

BUILDING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW CONSTRUCTION

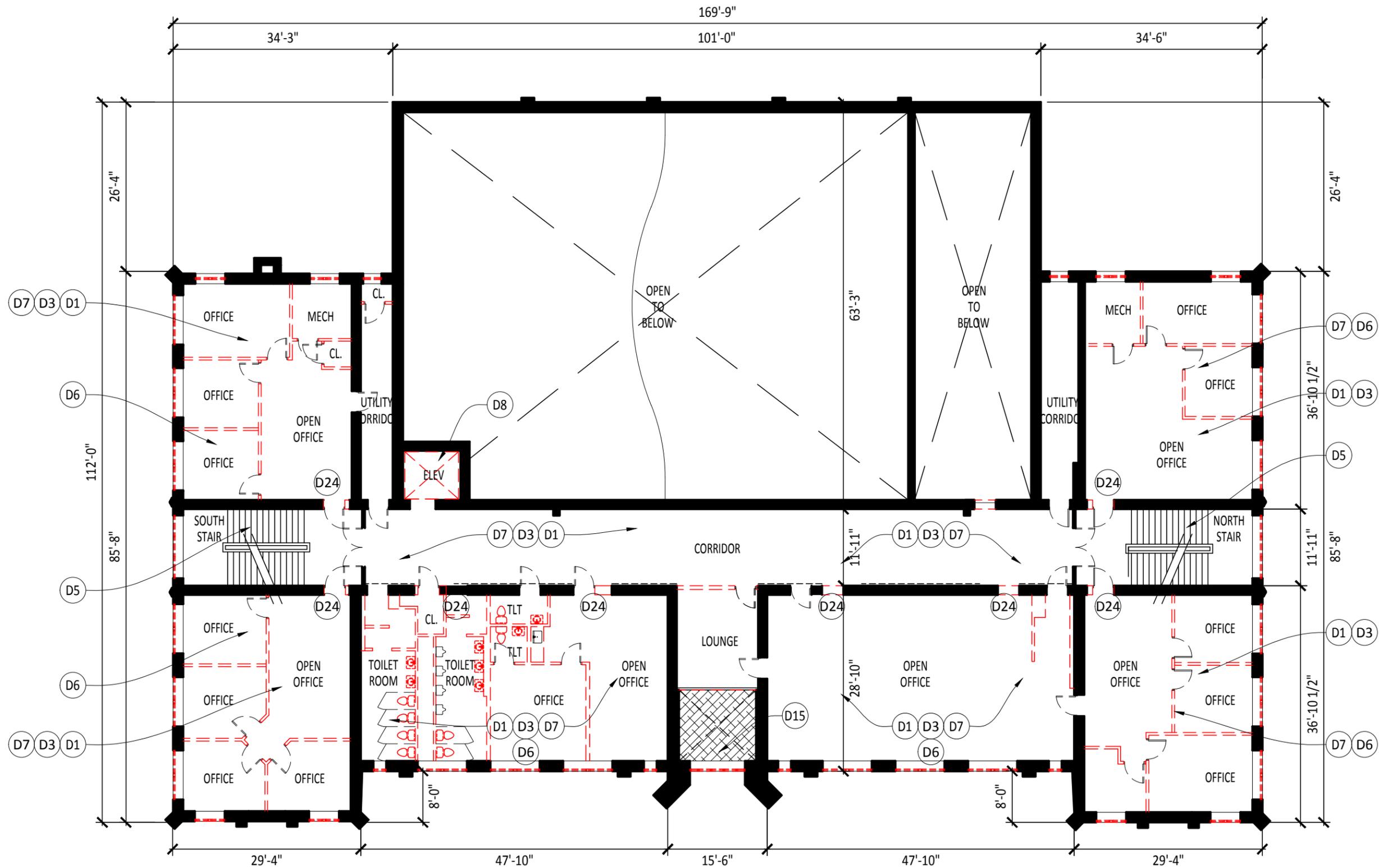
1A SCHOOL BUILDING
SECOND FLOOR PLAN
1/16" = 1'-0"



A
10

THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109
NOVEMBER 19, 2020 CHN HOUSING PARTNERS
HITI, DIFRANCESCO AND SIEBOLD, INC.

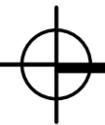


NOTE: REFER TO G-000 SERIES SHEETS FOR GENERAL AND KEYED NOTES

BUILDING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED

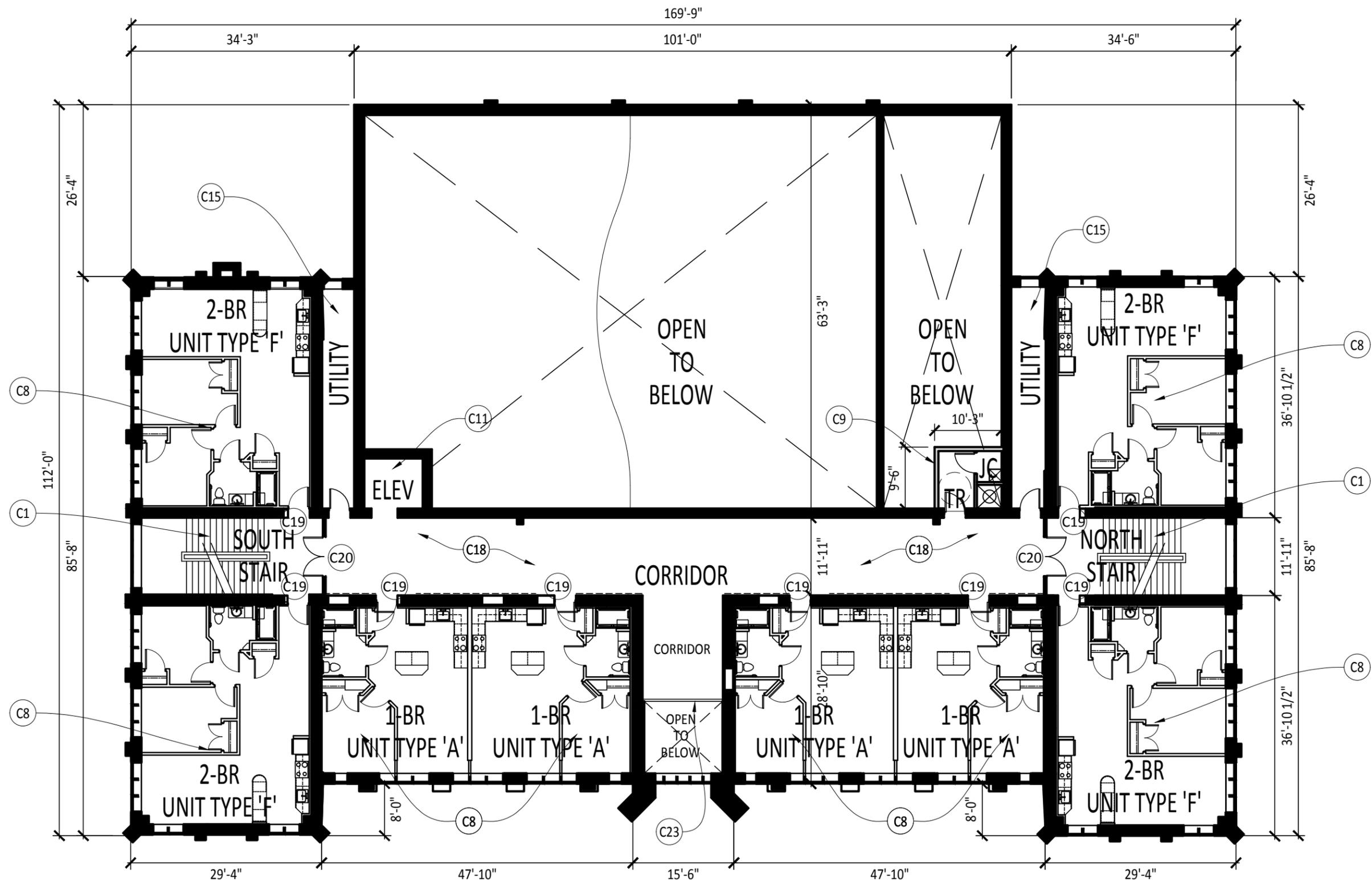
1A SCHOOL BUILDING
EXISTING THIRD FLOOR PLAN
1/16" = 1'-0"



A
11

THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109 CHN HOUSING PARTNERS
NOVEMBER 19, 2020 HITI, DIFRANCESCO AND SIEBOLD, INC.



NOTE: REFER TO G-000 SERIES SHEETS FOR GENERAL AND KEYED NOTES

BUILDING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW CONSTRUCTION

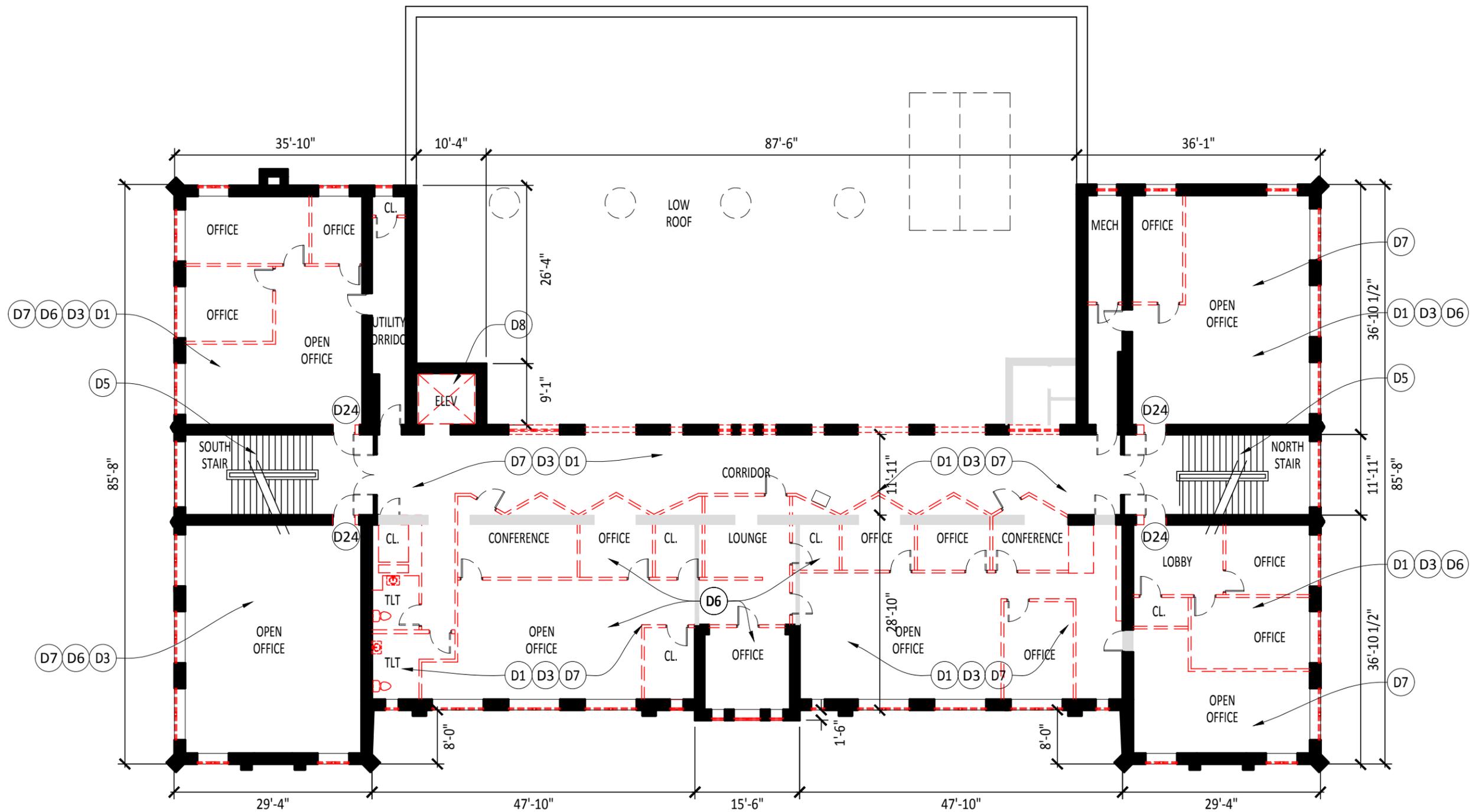
1A SCHOOL BUILDING
THIRD FLOOR PLAN
1/16" = 1'-0"



A
12

THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109 CHN HOUSING PARTNERS
NOVEMBER 19, 2020 HITI, DIFRANCESCO AND SIEBOLD, INC.



NOTE: REFER TO G-000 SERIES SHEETS FOR GENERAL AND KEYED NOTES

BUILDING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED

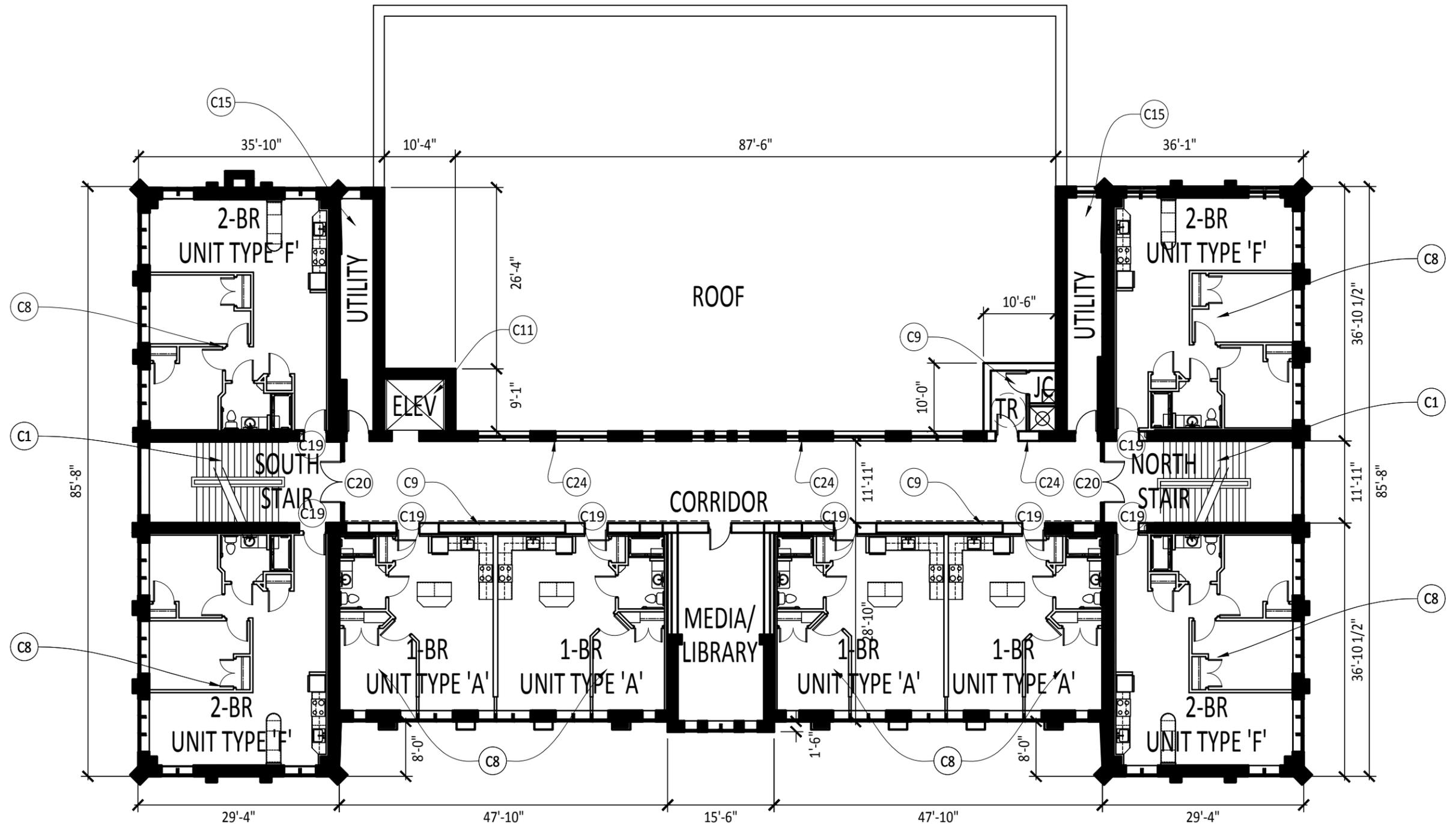
1A SCHOOL BUILDING
EXISTING FOURTH FLOOR PLAN
1/16" = 1'-0"



A
13

THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109
NOVEMBER 19, 2020 CHN HOUSING PARTNERS
HITI, DIFRANCESCO AND SIEBOLD, INC.



BUILDING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW CONSTRUCTION

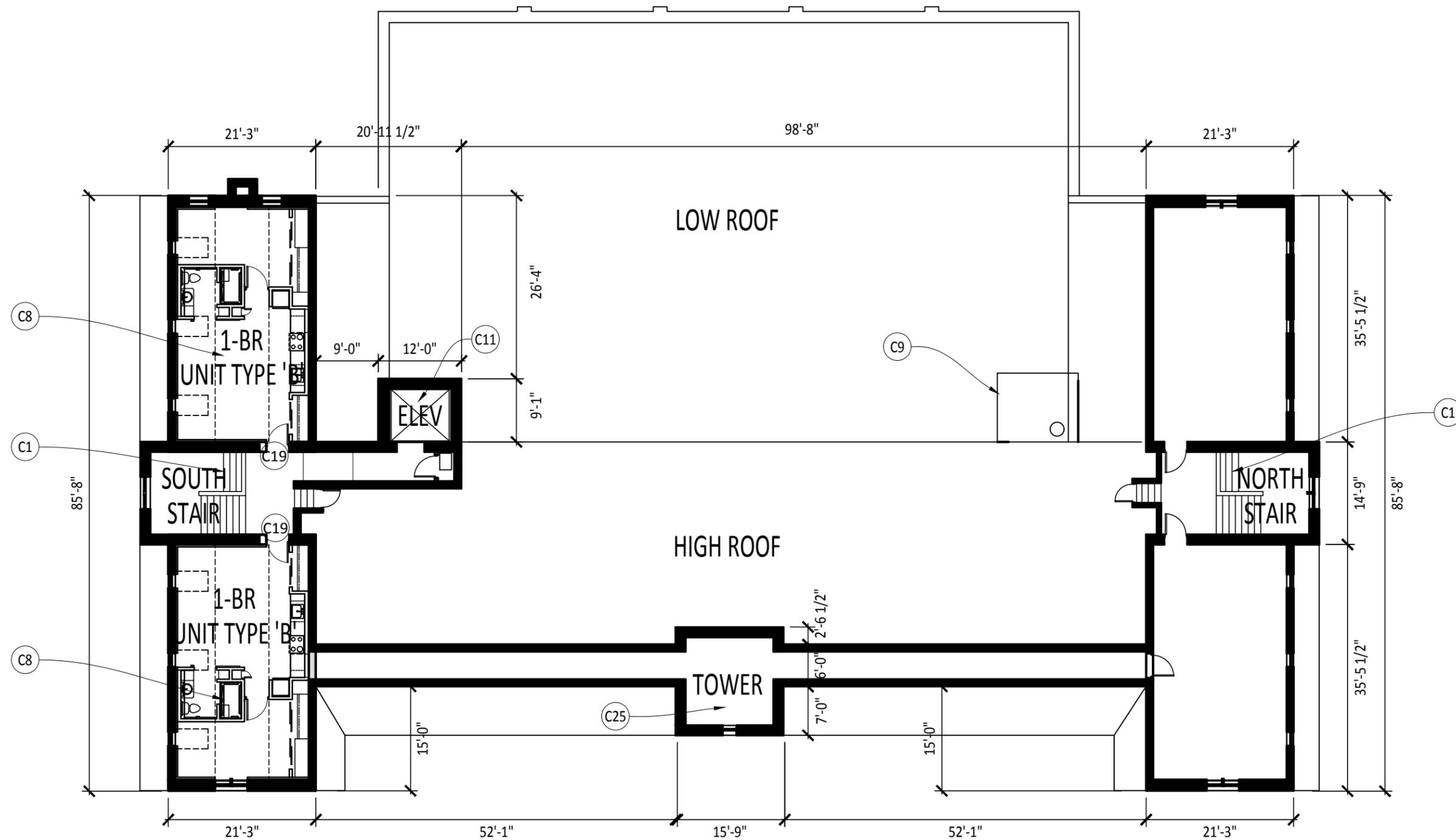
1A SCHOOL BUILDING
FOURTH FLOOR PLAN
1/16" = 1'-0"



A
14

THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109 CHN HOUSING PARTNERS
NOVEMBER 19, 2020 HITI, DIFRANCESCO AND SIEBOLD, INC.



NOTE: REFER TO G-000 SERIES SHEETS FOR GENERAL AND KEYED NOTES

BUILDING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW CONSTRUCTION

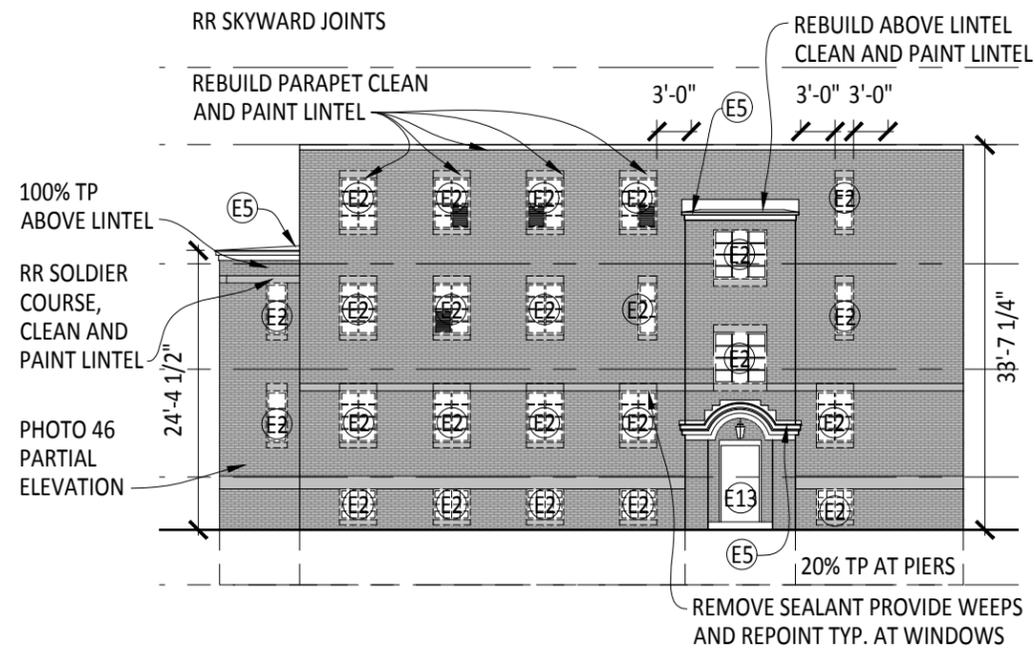
1A SCHOOL BUILDING
FIFTH FLOOR PLAN
1/16" = 1'-0"



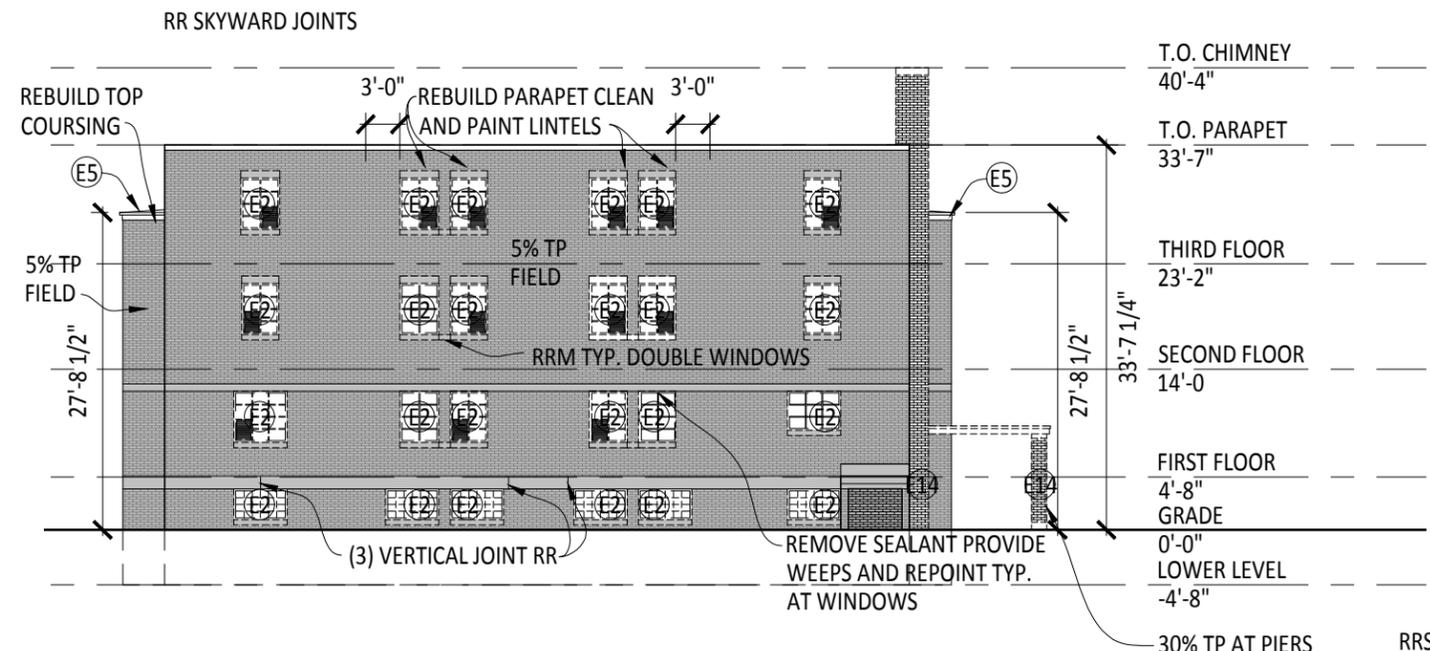
A
16

THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109 CHN HOUSING PARTNERS
NOVEMBER 19, 2020 HITI, DIFRANCESCO AND SIEBOLD, INC.

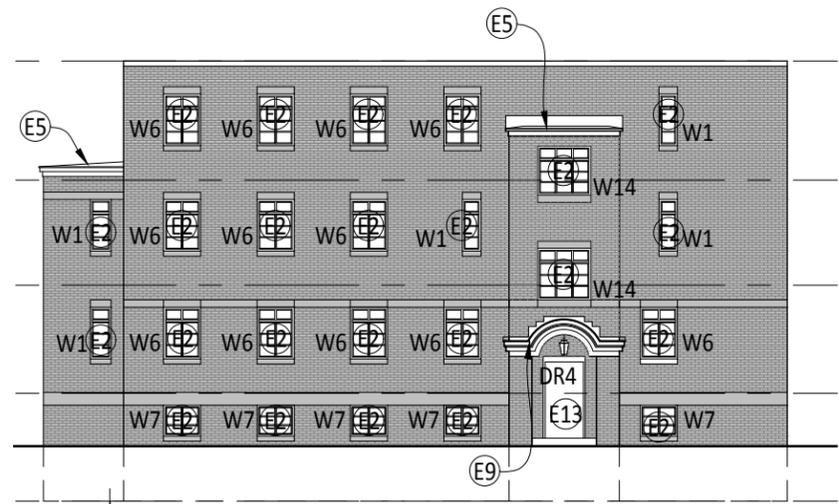


1B EXISTING ELEVATION - CONVENT BUILDING SOUTH
 1/16" = 1'-0"



2B EXISTING ELEVATION - CONVENT BUILDING EAST
 1/16" = 1'-0"

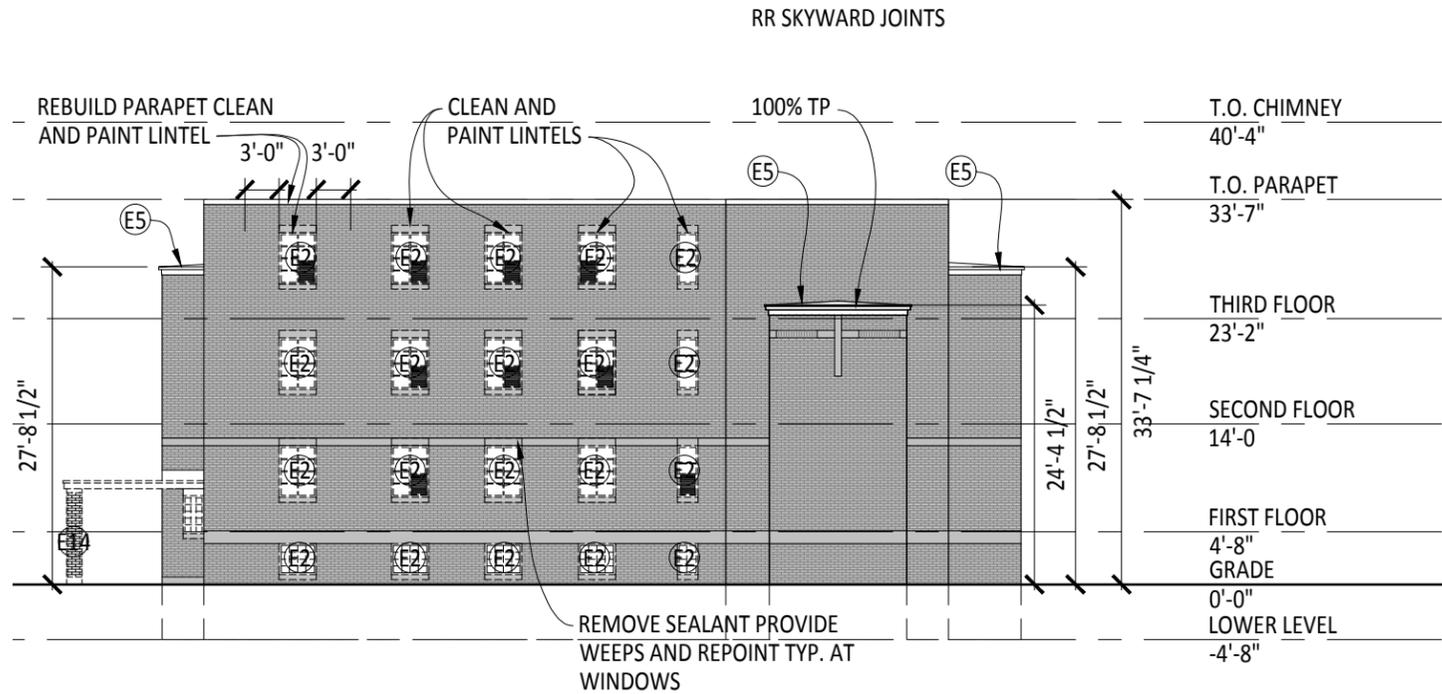
- RRS = REMOVE AND REPLACE SEALANT WITH MORTAR (TYP. LINE UNO)
- SC = STONE CRACK
- SP = STONE PATCH
- TP = TUCK POINTING
- RR = REMOVE AND REPLACE
- RRF = REMOVE AND REPLACE FACE
- RA = REMOVE ANCHOR
- SC (X) = LINEAR FEET OF STONE CRACK
- SP (X) = SQUARE FEET OF STONE PATCH
- RE = REMOVE AND REINSTALL
- RRM = REMOVE AND REPLACE MASONRY



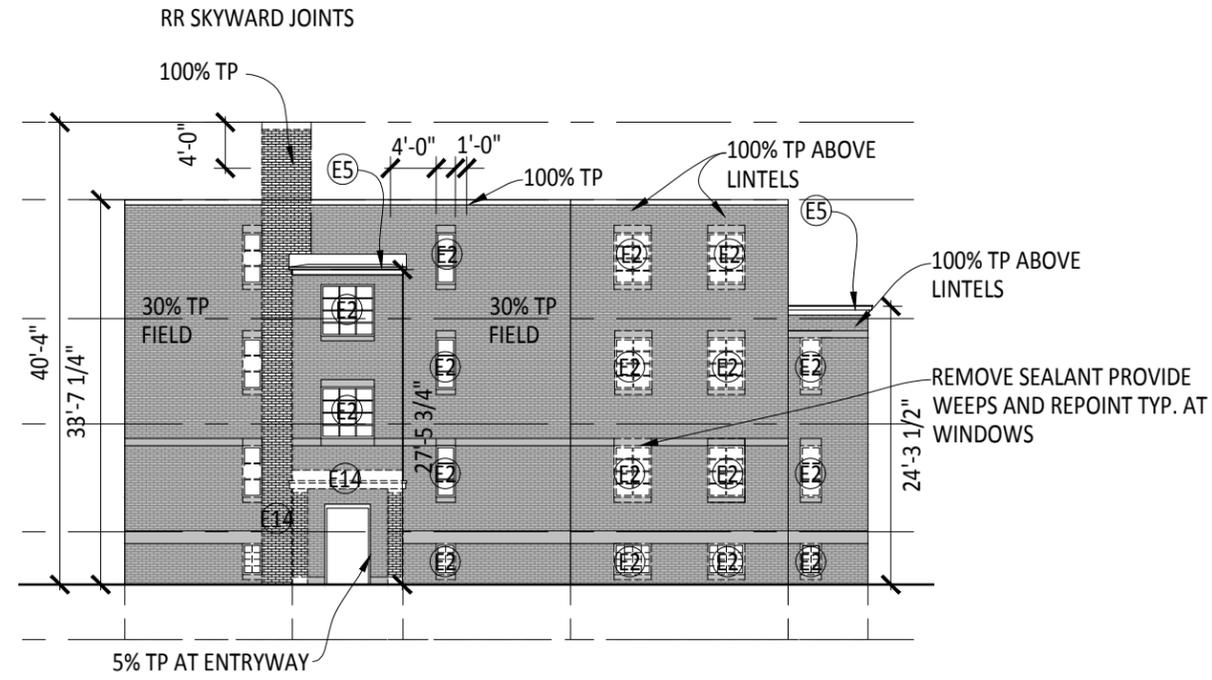
1A PROPOSED ELEVATION SOUTH
 1/16" = 1'-0"



2A PROPOSED ELEVATION EAST
 1/16" = 1'-0"

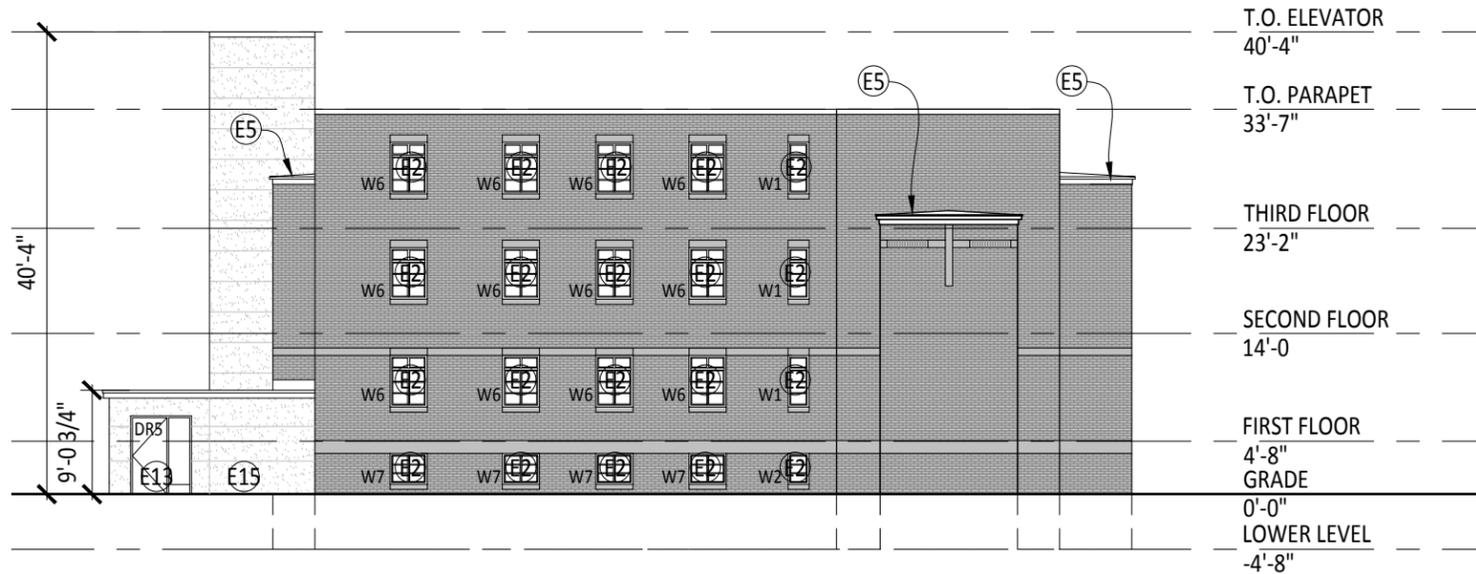


1B EXISTING ELEVATION - CONVENT BUILDING WEST
 1/16" = 1'-0"



2B EXISTING ELEVATION - CONVENT BUILDING NORTH
 1/16" = 1'-0"

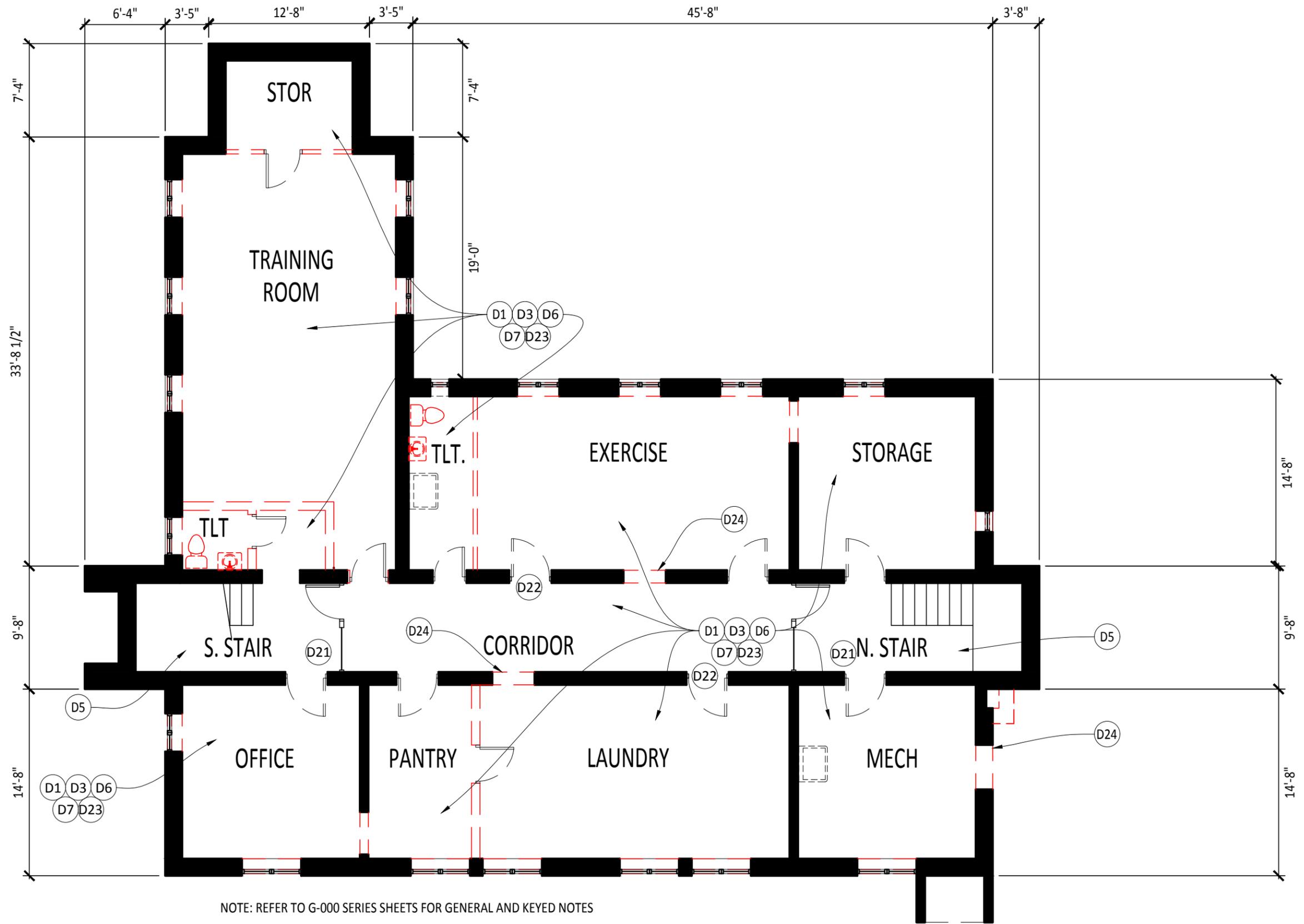
- RRS = REMOVE AND REPLACE SEALANT WITH MORTAR (TYP. LINE UNO)
- SC = STONE CRACK
- SP = STONE PATCH
- TP = TUCK POINTING
- RR = REMOVE AND REPLACE
- RRF = REMOVE AND REPLACE FACE
- RA = REMOVE ANCHOR
- SC (X) = LINEAR FEET OF STONE CRACK
- SP (X) = SQUARE FEET OF STONE PATCH
- RE = REMOVE AND REINSTALL
- RRM = REMOVE AND REPLACE MASONRY



1A PROPOSED ELEVATION - CONVENT BUILDING WEST
 1/16" = 1'-0"



2A PROPOSED ELEVATION - CONVENT BUILDING NORTH
 1/16" = 1'-0"



NOTE: REFER TO G-000 SERIES SHEETS FOR GENERAL AND KEYED NOTES

BUILDING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED

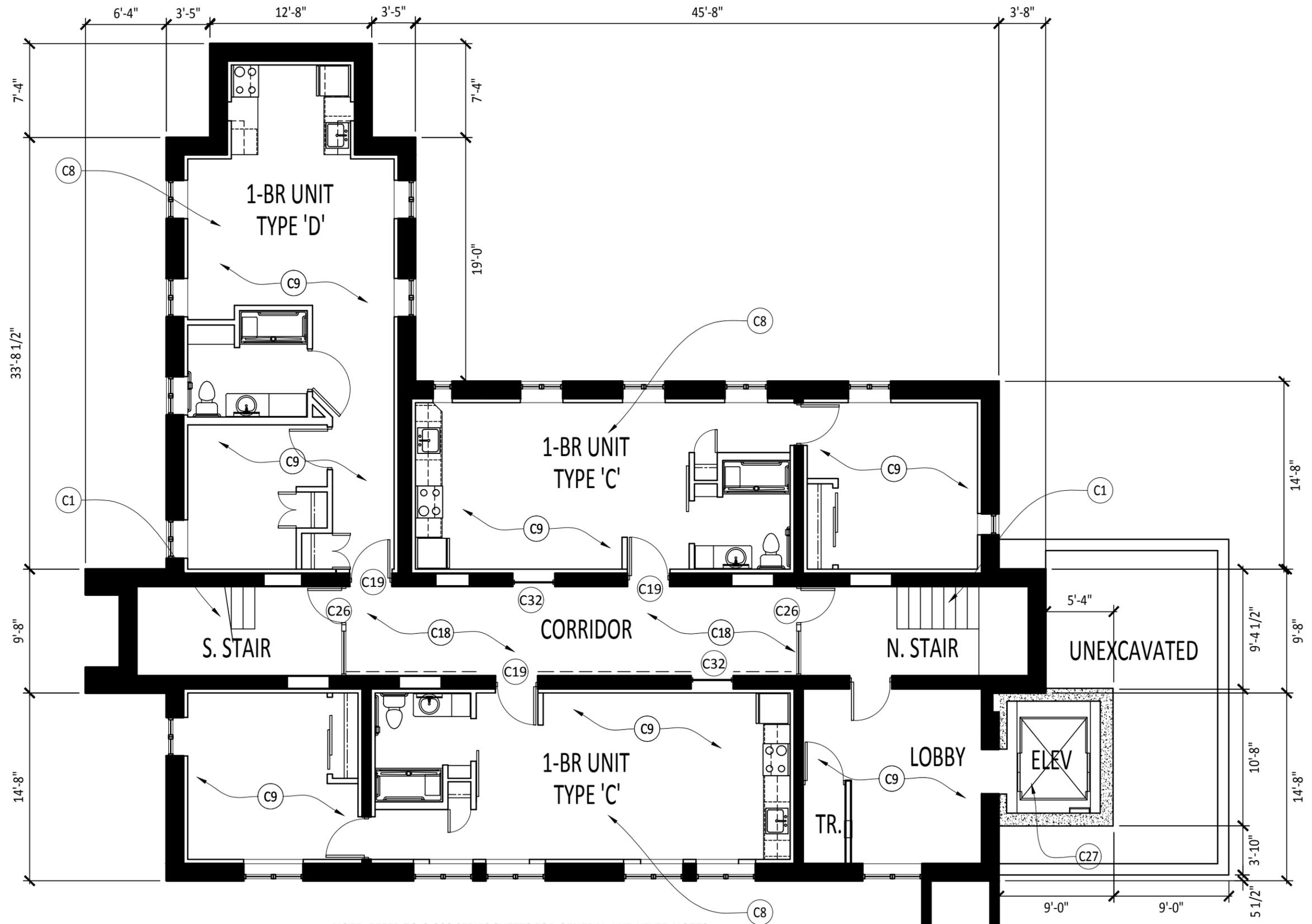
1A CONVENT BUILDING
 EXISTING LOWER LEVEL FLOOR PLAN
 1/8" = 1'-0"



A
21

THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109
 NOVEMBER 19, 2020 CHN HOUSING PARTNERS
 HITI, DIFRANCESCO AND SIEBOLD, INC.



BUILDING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW CONSTRUCTION

NOTE: REFER TO G-000 SERIES SHEETS FOR GENERAL AND KEYED NOTES

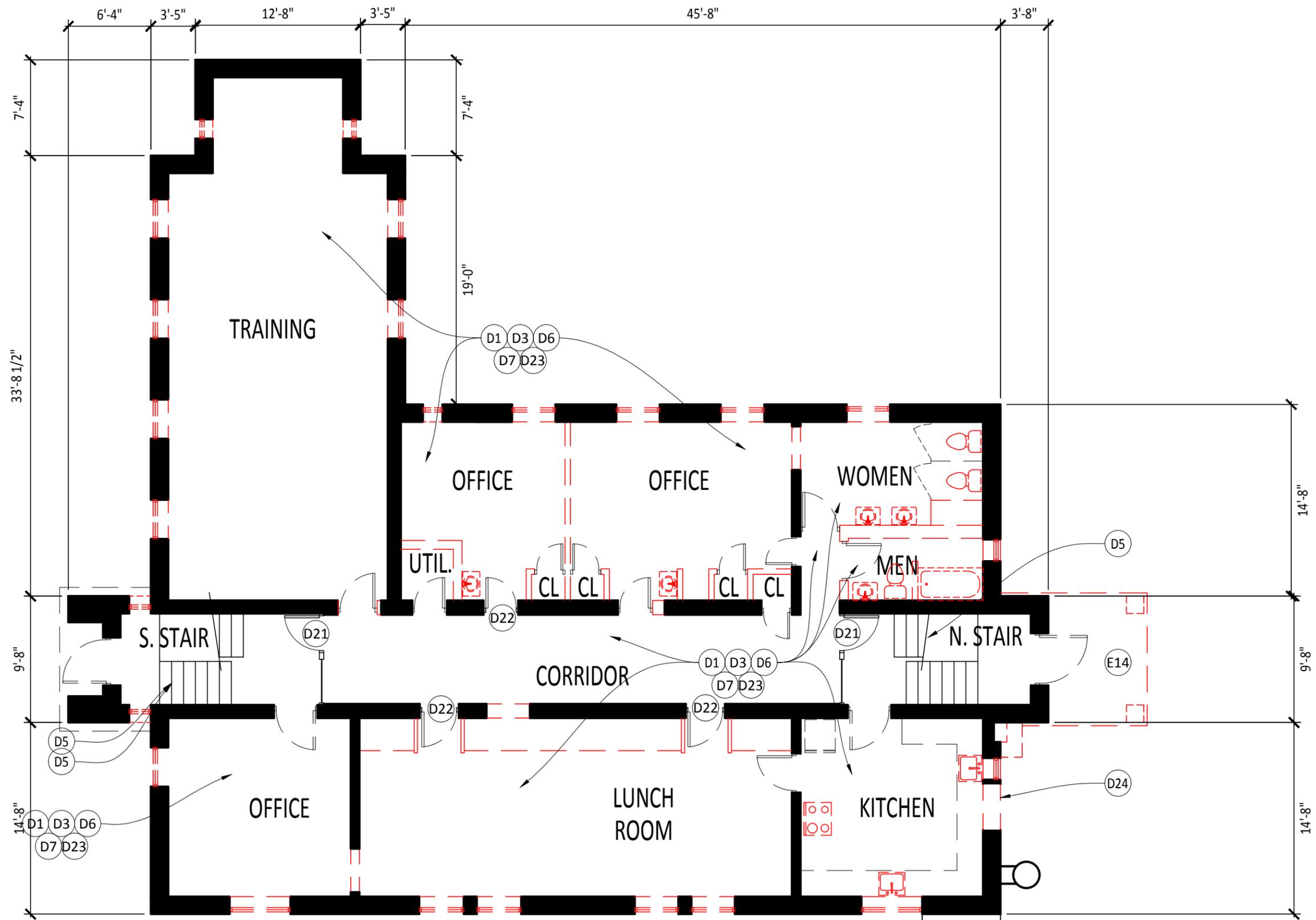
**1A CONVENT BUILDING
LOWER LEVEL FLOOR PLAN**
1/8" = 1'-0"



**A
22**

THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109 CHN HOUSING PARTNERS
NOVEMBER 19, 2020 HITI, DIFRANCESCO AND SIEBOLD, INC.



NOTE: REFER TO G-000 SERIES SHEETS FOR GENERAL AND KEYED NOTES

BUILDING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED

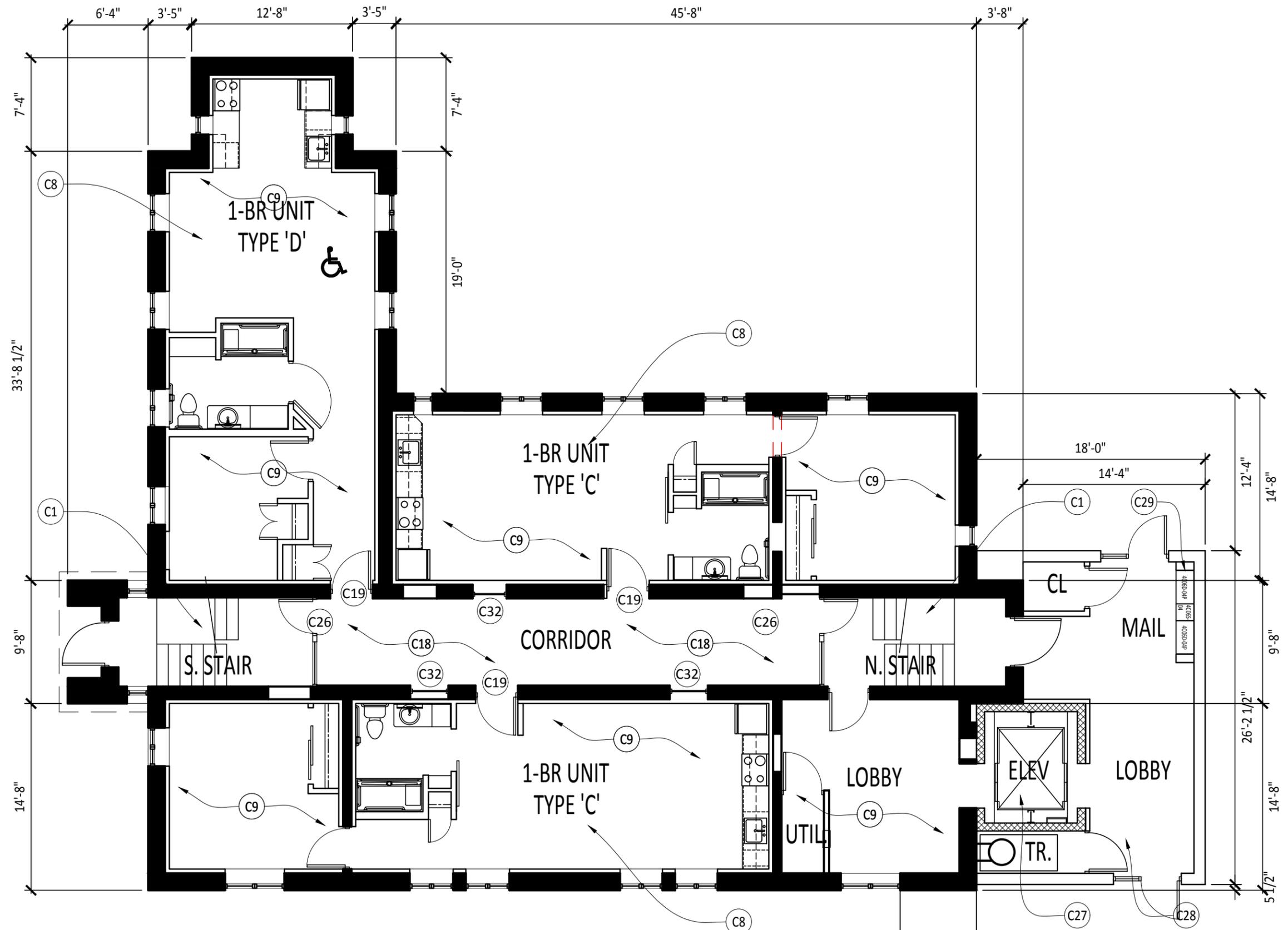
1A CONVENT BUILDING
EXISTING FIRST FLOOR PLAN
1/8" = 1'-0"



A
23

THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109
NOVEMBER 19, 2020 CHN HOUSING PARTNERS
HITI, DIFRANCESCO AND SIEBOLD, INC.



BUILDING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW CONSTRUCTION

NOTE: REFER TO G-000 SERIES SHEETS FOR GENERAL AND KEYED NOTES

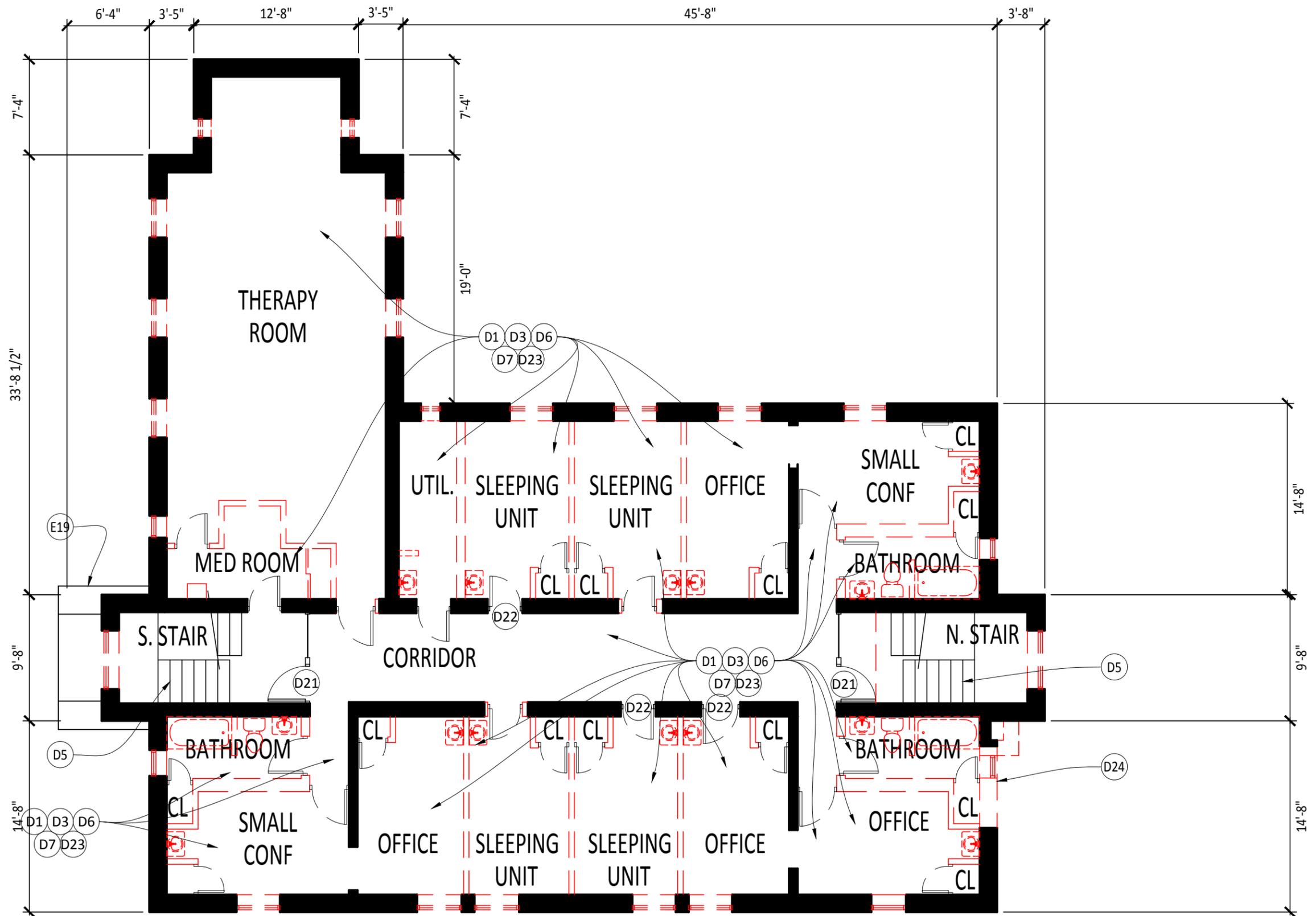
1A CONVENT BUILDING
FIRST FLOOR PLAN
1/8" = 1'-0"



A
24

THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109
NOVEMBER 19, 2020
CHN HOUSING PARTNERS
HITI, DIFRANCESCO AND SIEBOLD, INC.

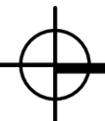


BUILDING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED

NOTE: REFER TO G-000 SERIES SHEETS FOR GENERAL AND KEYED NOTES

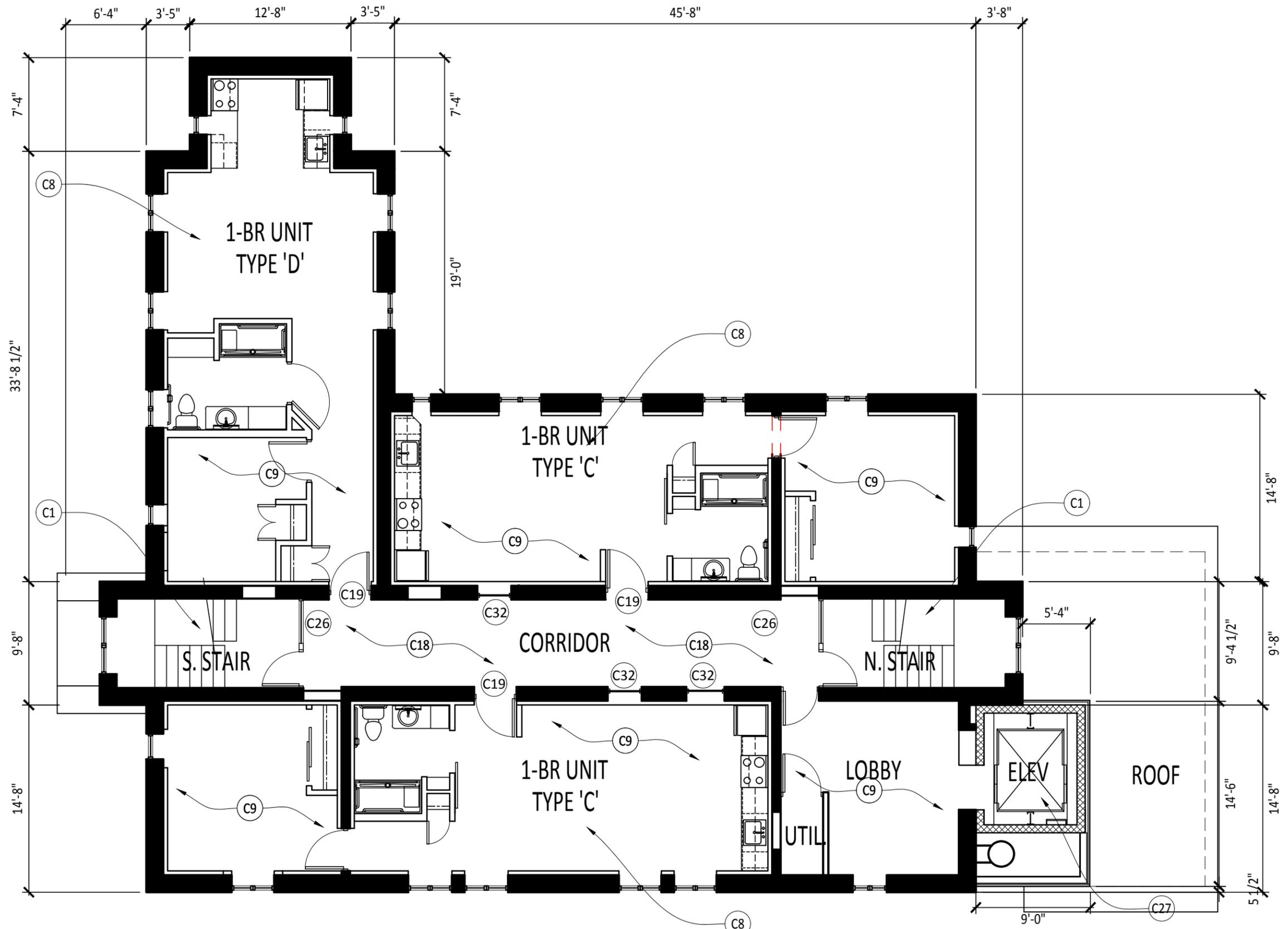
1A CONVENT BUILDING
EXISTING SECOND FLOOR PLAN
1/8" = 1'-0"



A
25

THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109 CHN HOUSING PARTNERS
NOVEMBER 19, 2020 HITI, DIFRANCESCO AND SIEBOLD, INC.

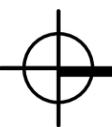


NOTE: REFER TO G-000 SERIES SHEETS FOR GENERAL AND KEYED NOTES

BUILDING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW CONSTRUCTION

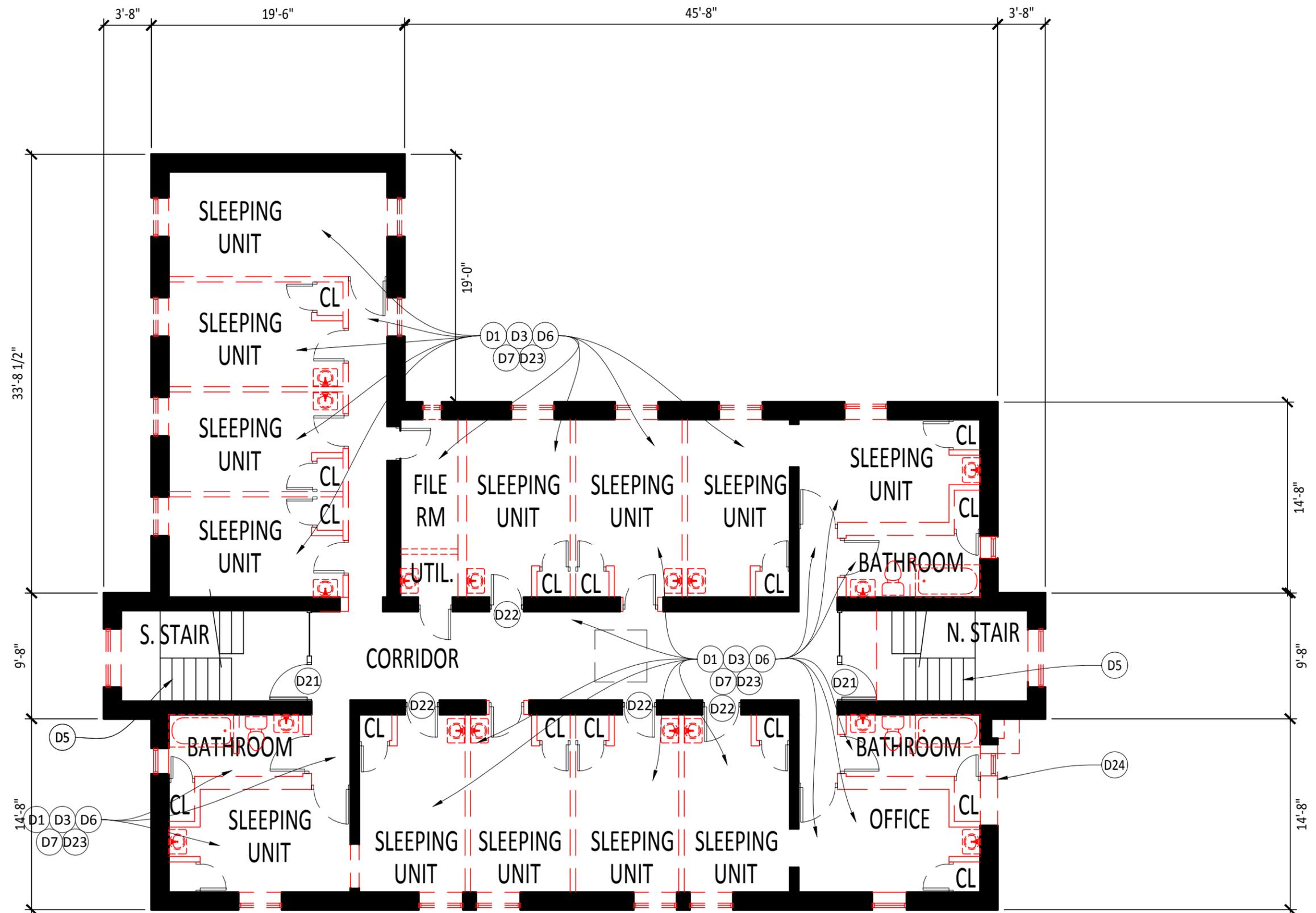
1A CONVENT BUILDING
SECOND FLOOR PLAN
1/8" = 1'-0"



A
26

THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109
NOVEMBER 19, 2020 CHN HOUSING PARTNERS
HITI, DIFRANCESCO AND SIEBOLD, INC.



BUILDING LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED

NOTE: REFER TO G-000 SERIES SHEETS FOR GENERAL AND KEYED NOTES

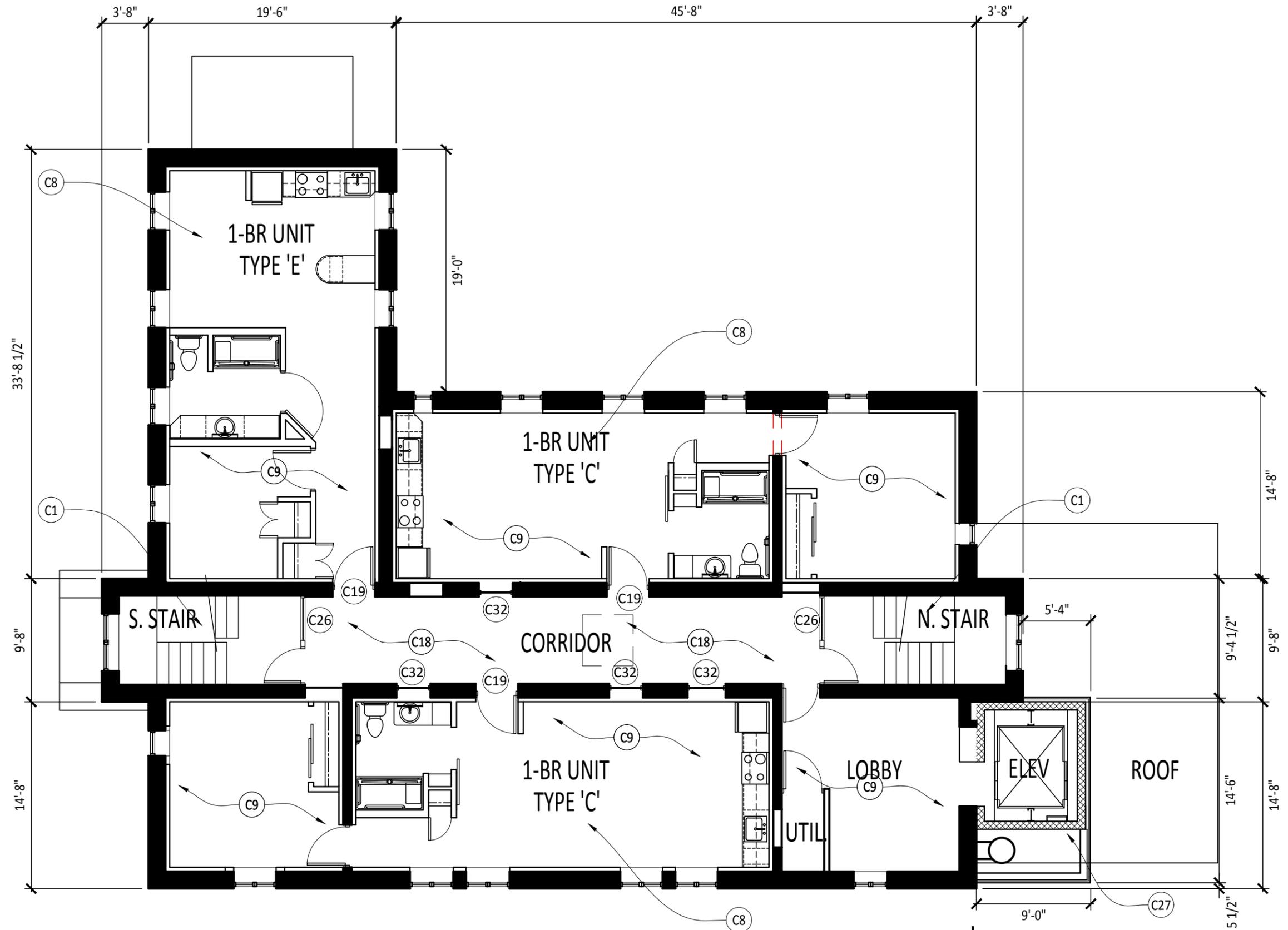
1A CONVENT BUILDING
EXISTING THIRD FLOOR PLAN
1/8" = 1'-0"



A
27

THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109
NOVEMBER 19, 2020
CHN HOUSING PARTNERS
HITI, DIFRANCESCO AND SIEBOLD, INC.

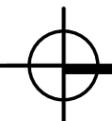


LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION

NOTE: REFER TO G-000 SERIES SHEETS FOR GENERAL AND KEYED NOTES

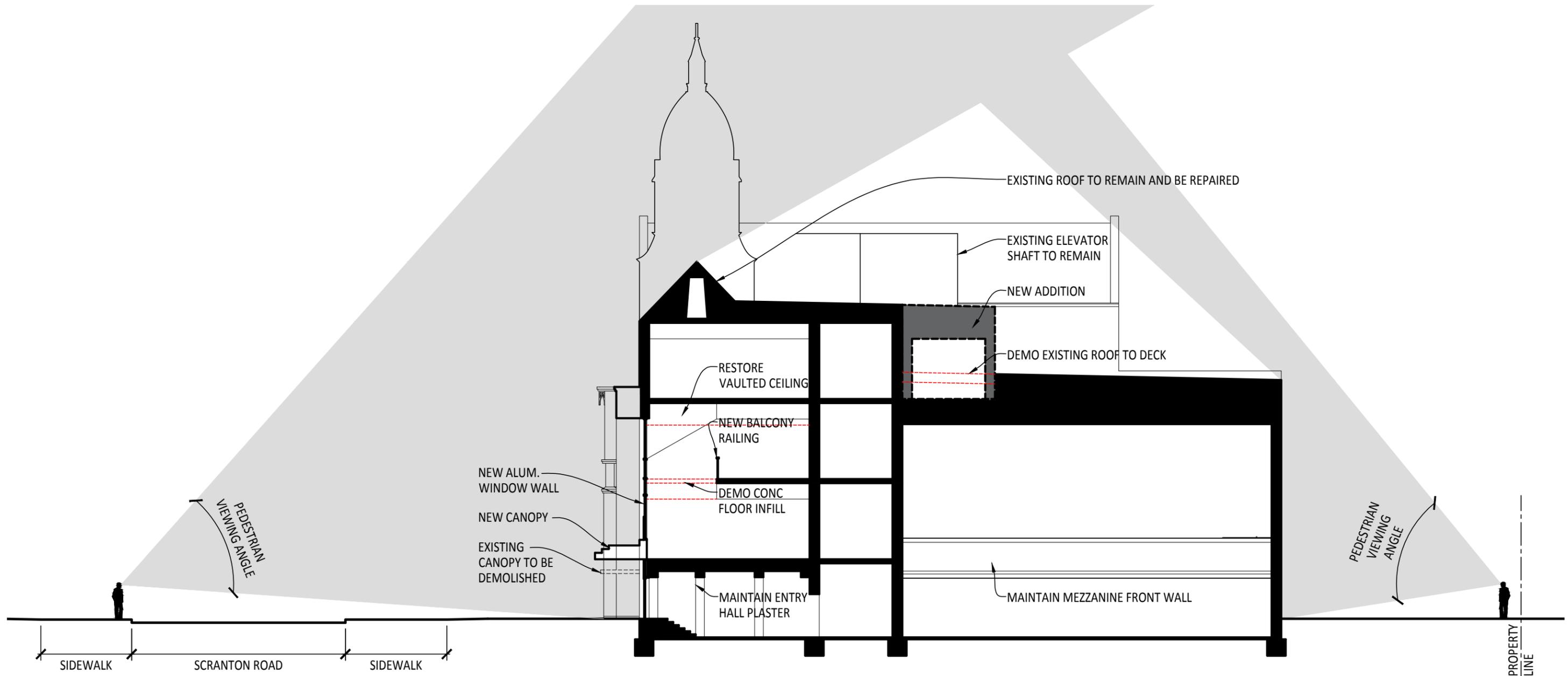
1A CONVENT BUILDING
THIRD FLOOR PLAN
1/8" = 1'-0"



A
28

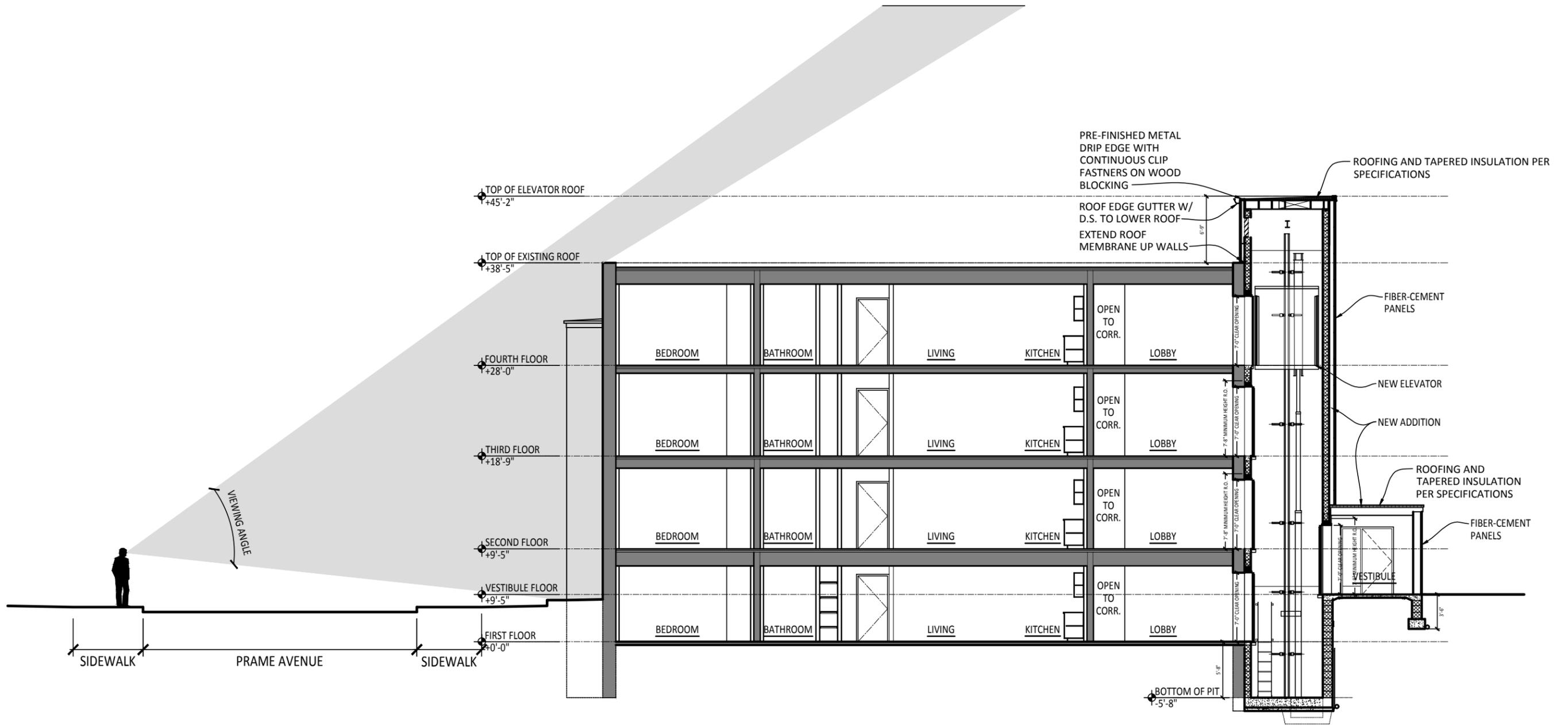
THE ARCH AT ST. MICHAEL

3146 SCRANTON ROAD, CLEVELAND, OHIO 44109
NOVEMBER 19, 2020 CHN HOUSING PARTNERS
HITI, DIFRANCESCO AND SIEBOLD, INC.



1D BUILDING SECTION
 1/16" = 1'-0"

A
50 | THE ARCH AT ST. MICHAEL
 3146 SCRANTON ROAD, CLEVELAND, OHIO 44109
 NOVEMBER 19, 2020



1A CONVENT BUILDING SECTION
3/32 = 1'-0"



A
52 | THE ARCH AT ST. MICHAEL
 3146 SCRANTON ROAD, CLEVELAND, OHIO 44109 CHN HOUSING PARTNERS
 NOVEMBER 19, 2020 HITI, DIFRANCESCO AND SIEBOLD, INC.



EXISTING VIEW 2 OF
CONVENT FROM PRAME



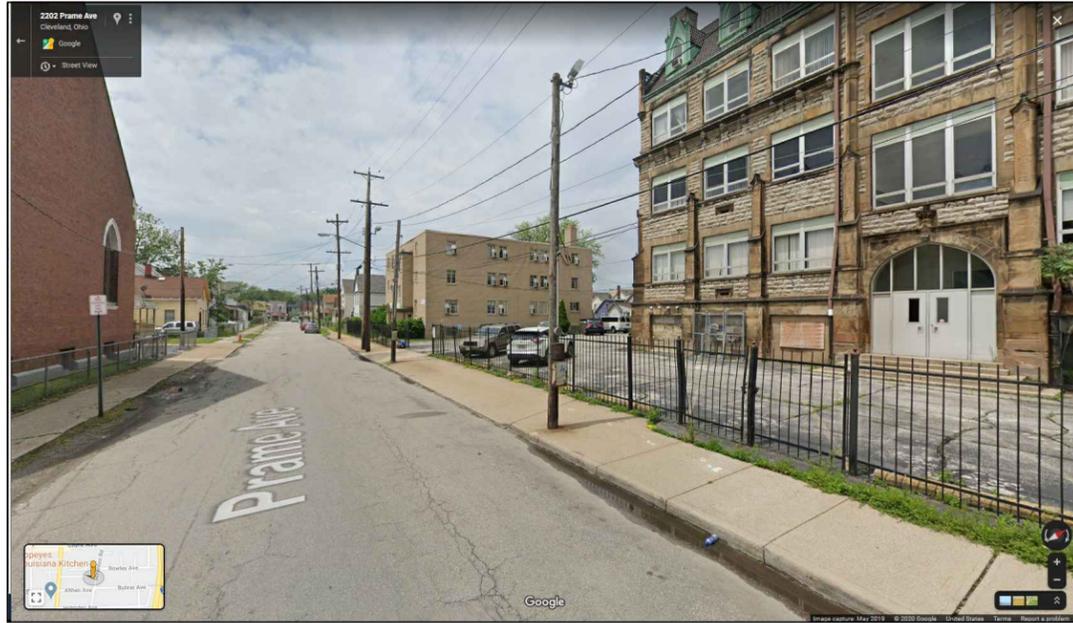
CONVENT ADDITION
MASSING STUDY 2 FROM PRAME



EXISTING VIEW 1 OF
CONVENT FROM KINKEL



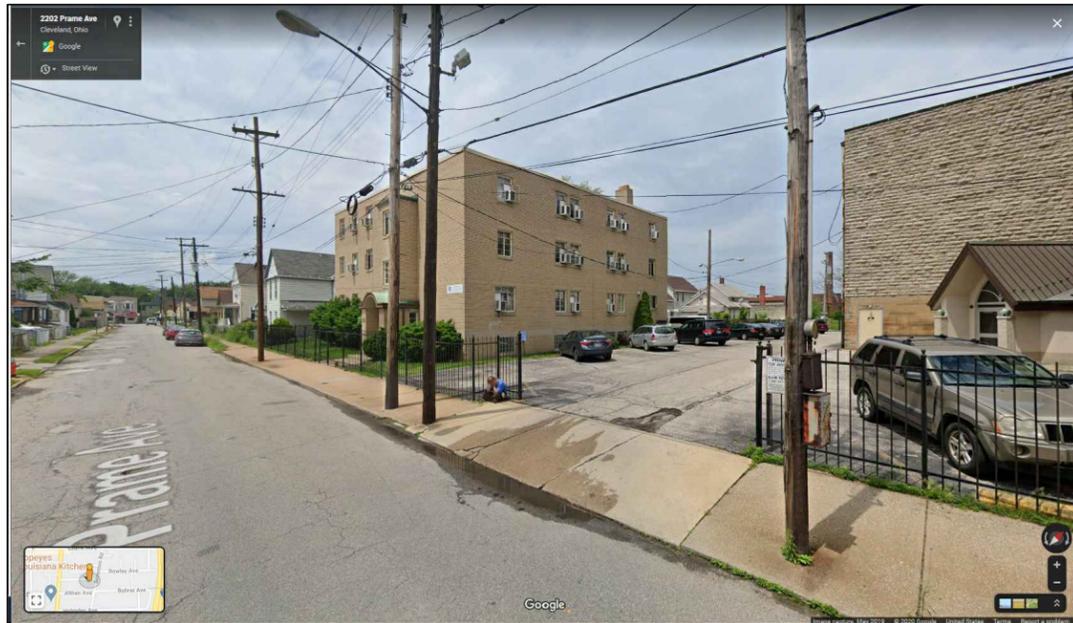
CONVENT ADDITION
MASSING STUDY 1 FROM KINKEL



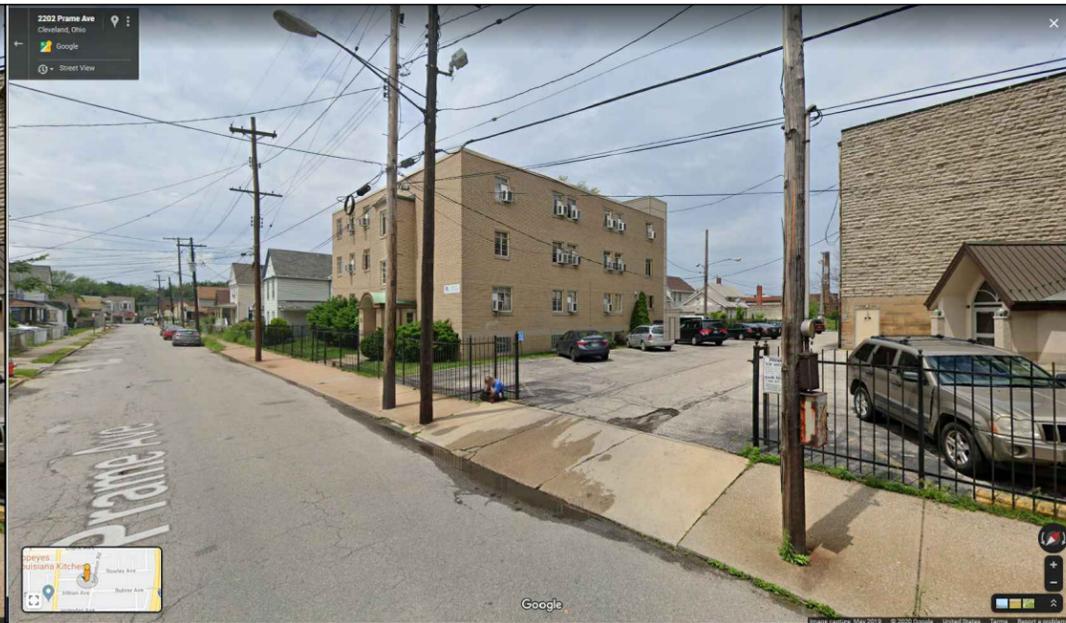
EXISTING VIEW 4 OF
CONVENT FROM PRAME



CONVENT ADDITION
MASSING STUDY 4 FROM PRAME



EXISTING VIEW 3 OF
CONVENT FROM PRAME



CONVENT ADDITION
MASSING STUDY 3 FROM PRAME

Cleveland Landmarks Commission

Concept Plan



January 14, 2021



Case 21-003: Little Italy Historic District

Barricelli Inn 2203 Cornell Road

Renovation for Washington Inn Studios

Ward 6: Griffin

Project Representatives: Michael Panzica, Developer; Dominick Durante,

Dom Vokic, Kristen Martinez, LDA Architects, Brad Nosan, PAG

Commercial

WASHINGTON INN SUITES

Cornell Murray Partners LLC

2203 Cornell Road

Cleveland, Ohio 44106



UNIT COUNT		
Level	Count	Area
First Floor	6	3,613 SF
Second Floor	4	1,518 SF
Third Floor	3	1,060 SF
APT UNITS	13	6,191 SF

AREA BY TYPE	
Level	Area
APARTMENT	
First Floor	3,613 SF
Second Floor	1,518 SF
Third Floor	1,060 SF
	6,191 SF
CIRCULATION	
First Floor	679 SF
Second Floor	608 SF
Third Floor	281 SF
	1,568 SF
UTILITY	
Second Floor	23 SF
	23 SF
BUILDING SF	7,782 SF

PROJECT DIRECTORY

- OWNER:**
FANZIGA DEVELOPMENT
6555 CARNEGIE AVENUE
SUITE 301
CLEVELAND, OHIO 44103
REPRESENTATIVE: MICHAEL FANZIGA
PHONE: (440) 668-8191
- CONTRACTOR:**
FIORILLI CONSTRUCTION
1247 MEDINA ROAD
MEDINA, OHIO 44256
REPRESENTATIVE: JEFF TROXELL
PHONE: 216-905-7520
- ARCHITECT:**
LDA ARCHITECTS, INC.
5000 EUCLID AVENUE
SUITE 104
CLEVELAND, OHIO 44103
REPRESENTATIVE: DOMINICK DURANTE
PHONE: (216) 932-1890
- STRUCTURAL ENGINEER:**
WHS ENGINEERING INC.
2012 WEST 25TH STREET, SUITE 512
CLEVELAND, OHIO 44113
REPRESENTATIVE: BILL SHEPARDSON
PHONE: (216) 227-8505
- MEP ENGINEER:**
WHS ENGINEERING INC.
2012 WEST 25TH STREET, SUITE 512
CLEVELAND, OHIO 44113
REPRESENTATIVE: BILL SHEPARDSON
PHONE: (216) 227-8505

DRAWING LIST

No.	DESCRIPTION
ARCHITECTURAL	
A0.01	COVER SHEET
A0.02	GENERAL NOTES & LEGENDS
A1.00	ARCHITECTURAL SITE PLAN
A1.01	UNIT SUMMARIES
A1.02	DEMOLITION FLOOR PLANS
A1.10	BASEMENT PLAN
A1.11	FIRST FLOOR PLAN
A1.12	SECOND FLOOR PLAN
A1.13	THIRD FLOOR PLAN
A2.00	EXTERIOR SCHEDULES
A2.01	NORTH-EAST EXTERIOR ELEVATIONS
A2.02	SOUTH-EAST EXTERIOR ELEVATIONS
A2.03	SOUTH-WEST EXTERIOR ELEVATIONS
A2.04	NORTH-WEST EXTERIOR ELEVATIONS
A3.01	BUILDING SECTIONS
A3.02	BUILDING SECTIONS

PROJECT SCOPE

CONVERSION OF EXISTING BAR / RESTAURANT (A-2) AND INN (R-1) INTO STUDIO AND ONE BEDROOM APARTMENT UNITS (R-2);
-KITCHENETTES ADDED TO 7 EXISTING 2ND AND 3RD FLOOR SLEEPING UNITS (CONVERSION FROM R-1 - R-2)
-CREATING 6 NEW SLEEPING UNITS FROM EXISTING BAR, DINING, AND KITCHEN AREAS (CONVERSION FROM A-2 - R-2).

LOCATION MAP



SITE LOCATION:
2203 CORNELL RD.

SITE INFORMATION

PART OF P.P.N. 121-05-106
LOT SIZE: = 0.3274 ACRES (14,282 SF)

DATE	DESCRIPTION
9.9.2020	Schematic Design
11.9.2020	Issued for Zoning & Landmarks



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LICENSE: 07284
EXPIRATION: 12/31/2021



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COVER SHEET **A0.01**

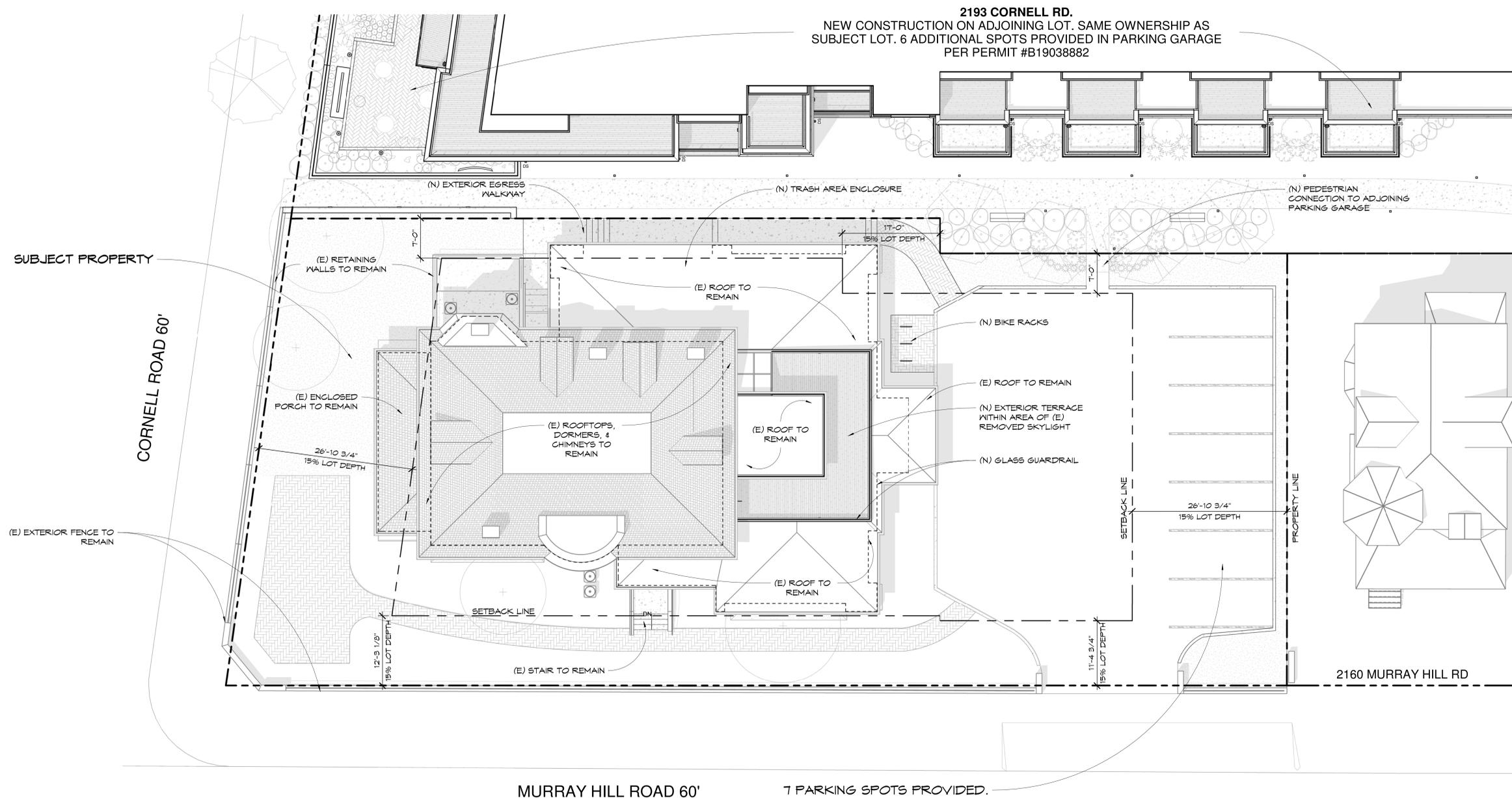
ZONING REQUIREMENTS	
CITY OF CLEVELAND, OHIO CODE OF ORDINANCES PART III: LAND USE CODE TITLE VII: ZONING CODE	
PARCEL NUMBER(S): P.P.N. 121-05-106 DISTRICT NAME: WARD 6 ZONING CODE: MF-C1 USE DISTRICT: MULTIFAMILY	
AREA DISTRICT:	C
HEIGHT DISTRICT:	1
LOCAL LANDMARK DISTRICT:	LITTLE ITALY
NATIONAL LANDMARK DISTRICT:	N/A
ZONING OVERLAY DISTRICT:	N/A
CITYWIDE 2020 PROPOSED USE:	MIXED USE, RESIDENTIAL/RETAIL

PROJECT INFORMATION	
EXISTING BUILDING OCCUPANCY:	BAR / RESTAURANT & INN
PROPOSED OCCUPANCY:	MULTIFAMILY RESIDENTIAL
TOTAL NUMBER OF UNITS:	13
GROSS BUILDING AREA:	11,641 SF
BASEMENT:	3,859 SF
FIRST FLOOR:	4,292 SF
SECOND FLOOR:	2,149 SF
THIRD FLOOR:	1,341 SF

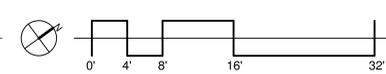
ZONING STANDARDS AND RESTRICTIONS	REQUIRED	PROPOSED
MAX GROSS FLOOR AREA 1/2 LOT AREA * * Shall not apply to alterations made to an existing building in a Residence district nor to an existing residence building in another use district, which building exceeds the maximum gross floor area limitation, provided the gross floor area of such existing building is not increased.	7,141 SF	EXISTING = 7,782 SF ** SOLARIUM = 129 SF ** EXCLUDES BASEMENT
BUILDING HEIGHT HEIGHT LIMIT - ABOVE GRADE LEVEL: 1D, BUT NOT TO EXCEED 35 FT WHERE D IS THE DISTANCE CENTERLINE OF STREET ABOVE HEIGHT LIMIT: 1 FT SETBACK FOR EA. FT OF ADDITIONAL HEIGHT	30 FT AT BUILDING LINE 50 FT MAX W/ SETBACKS PER 353.02	EXISTING TO REMAIN
FRONT YARD SETBACK 15% OF THE LOT DEPTH TO A MAXIMUM OF 30 FT	REFER TO SETBACK LINE ON PLAN	EXISTING TO REMAIN
SIDE YARD SETBACK NOT LESS THAN 10% AVERAGE WIDTH OF SUCH LOT OR 5 FT, WHICHEVER IS LESS On the rear third of a corner lot in a Residence District the building line shall be not less than ten (10) feet back from the side street line 7 FT MINIMUM TO PROPERTY LINES 14 FT AGGREGATE WIDTH OF SIDE YARDS 10 FT MINIMUM BETWEEN MAIN BUILDINGS ON ADJOINING LOTS	7 FT MINIMUM TO PROPERTY LINES 14 FT AGGREGATE WIDTH OF SIDE YARDS 10 FT MINIMUM BETWEEN MAIN BUILDINGS ON ADJOINING LOTS	EXISTING TO REMAIN; REFER TO PLANS
REAR YARD SETBACK NOT LESS THAN 15% OF THE DEPTH OF THE LOT BUT IN NO CASE LESS THAN 20 FT; PROVIDED THAT IN A MULTI-FAMILY DISTRICT SUCH DEPTH SHALL NOT BE LESS THAN 1/2 THE HEIGHT OF THE MAIN BUILDING	REFER TO SETBACK LINE ON PLAN	EXISTING TO REMAIN
PARKING 1 CAR SPACE PER UNIT 1 BIKE SPACE PER 20 CAR SPACES PROVIDED	13 CAR SPACES 13 UNITS 1 BICYCLE SPACE	13 CAR SPACES 7 PROVIDED ON PARCEL 6 ADDITIONAL SPACES PROVIDED IN ADJOINING PARKING GARAGE PER PERMIT #B19038882. 3 BICYCLE SPACES

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1 PROPOSED SITE PLAN
A1.00 SCALE: 1/8" = 1'-0"



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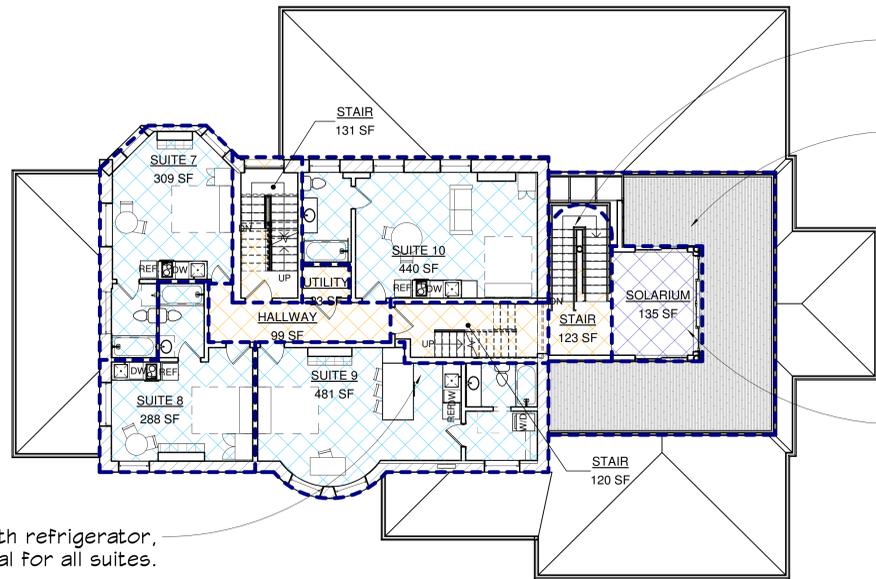
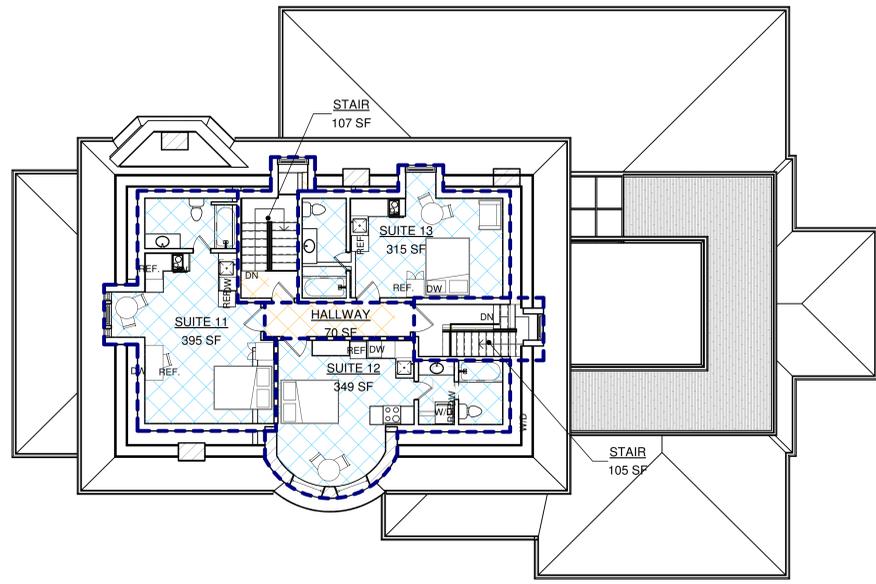
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ARCHITECTURAL SITE PLAN **A1.00**

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New Kitchenette with refrigerator, range, and sink. Typical for all suites.

Existing stair to remain pending Egress Code verification

New exterior Terrace in area of existing sloped Skylight w/ 42" glass guardrail each side

New enclosed common area Solarium, underneath flat portion of roof. Sliding glass doors on 3 sides to open onto Terrace

New Exterior Window locations

(N) EGRESS PATH

Existing stone wall to remain

(E) Pocket Door to remain

(N) Exterior glazing at porch to replace (E) Glazing

(E) Pocket Door to remain

(E) Pocket Door to be blocked off.

(N) Exterior glazing at porch to replace (E) Glazing

New Ceiling within 2-Story Lobby Space

NOTES:
1. Each Unit to receive Kitchen and Bathroom.
2. Each Unit to receive Split System HVAC upgrade.

(N) Exterior glazing at porch to replace (E) Glazing

TYPICAL UNIT SUITE SCOPE OF WORK		
SUITE LOCATION	SCOPE OF WORK DESCRIPTION	COMMENTS
BATH SUITES 1, 2, 3, 4, 5 AND 6	PROVIDE NEW PORCELAIN TILE FLOORING, WALL PAINT, VANITY, WATERCLOSET, FAUCET, MIRROR, SHOWER ROD, TOILET TISSUE DISPENSER, VANITY LIGHT, SHOWER LIGHT, VENT EXHAUST, SHOWER CONTROLS, SHOWER BASE AND TILE WALL SURROUND.	ALL FIXTURES SHOULD MEET WATER SENSE SPECIFICATIONS
SUITES 7, 8, 9, 10, 11, 12 AND 13	EXISTING BATHROOM FINISHES AND FIXTURES TO REMAIN. PROVIDE NEW PAINT FINISH FOR WALLS.	EXISTING BATHROOMS FIXTURES TO BE REPLACED AS NEEDED.
HVAC SYSTEM SUITES 1, 2, 3, 4, 5 AND 6	EACH UNIT TO RECEIVE SPLIT SYSTEM HVAC UPGRADE.	
SUITES 7, 8, 9, 10, 11, 12 AND 13	EACH UNIT TO RETAIN EXISTING SPLIT SYSTEM	
KITCHENETTE	NEW KITCHENS TO INCLUDE QUARTZ COUNTERTOP, BASE CABINETS, 36" UPPER WALL CABINETS, COUNTER DEPTH REFRIGERATOR, RANGE, SINK, AND FAUCET	SUITES 2, 3, 4 AND 5 HAVE KITCHEN ISLANDS WITH ACCENT PENDANT LIGHTING.
LIGHTING SUITES 1, 2, 3, 4, 5 AND 6	PROVIDE NEW CAN LIGHT IN SHOWER, VANITY LIGHT, KITCHEN ISLAND PENDANTS (WHERE APPLICABLE), BEDROOM OVERHEAD LIGHT/FAN COMBO, LIVING ROOM LIGHT.	
SUITES 7, 8, 9, 10, 11, 12 AND 13	EXISTING LIGHTING LOCATIONS TO REMAIN.	
OVERALL FLOORING	UNITS TO RECEIVE NEW LVT PLANK FLOORING.	PRODUCT TO BE A 20 MIL FLOATING LVT
OVERALL PAINT	UNITS TO RECEIVE NEWLY PREPPED AND PAINTED WALLS AND CEILINGS. WALL BASE, DOORS, AND DOOR TRIM THAT IS PAINTED WILL BE REPAINTED. EXISTING WALL BASE, DOORS, AND DOOR TRIM THAT IS CURRENTLY STAINED WILL REMAIN AS EXISTING.	
WALL TRIM, DOOR TRIM AND DOORS SUITES 1 AND 6	EXISTING WALL TRIM, DOOR TRIM AND DOORS TO REMAIN STAINED WOOD FINISH. ANY NEW TRIM ADDED TO UNIT SHOULD MATCH EXISTING PROFILE AND STAIN COLORWAY.	
SUITES 2, 3, 4 AND 5	RECEIVE NEW WALL TRIM PAINTED. NEW DOORS AND DOOR TRIM TO BE PAINTED FINISH.	
SUITES 7, 8, 9, 10, 11, 12 AND 13	EXISTING WALL TRIM, DOOR TRIM AND DOORS TO BE REPAIRED AND PAINTED.	

AREA SUMMARY

Name	DEPARTMENT	Area
First Floor		
HALLWAY	CIRCULATION	286 SF
LOBBY	CIRCULATION	393 SF
SUITE 1	APARTMENT	862 SF
SUITE 2	APARTMENT	445 SF
SUITE 3	APARTMENT	440 SF
SUITE 4	APARTMENT	639 SF
SUITE 5	APARTMENT	609 SF
SUITE 6	APARTMENT	618 SF
		4,292 SF

Second Floor		
HALLWAY	CIRCULATION	99 SF
SOLARIUM	CIRCULATION	135 SF
STAIR	CIRCULATION	120 SF
STAIR	CIRCULATION	131 SF
STAIR	CIRCULATION	123 SF
SUITE 7	APARTMENT	309 SF
SUITE 8	APARTMENT	288 SF
SUITE 9	APARTMENT	481 SF
SUITE 10	APARTMENT	440 SF
UTILITY	UTILITY	23 SF
		2,149 SF

Third Floor		
HALLWAY	CIRCULATION	70 SF
STAIR	CIRCULATION	107 SF
STAIR	CIRCULATION	105 SF
SUITE 11	APARTMENT	395 SF
SUITE 12	APARTMENT	349 SF
SUITE 13	APARTMENT	315 SF
		1,341 SF
BUILDING SF		7,782 SF



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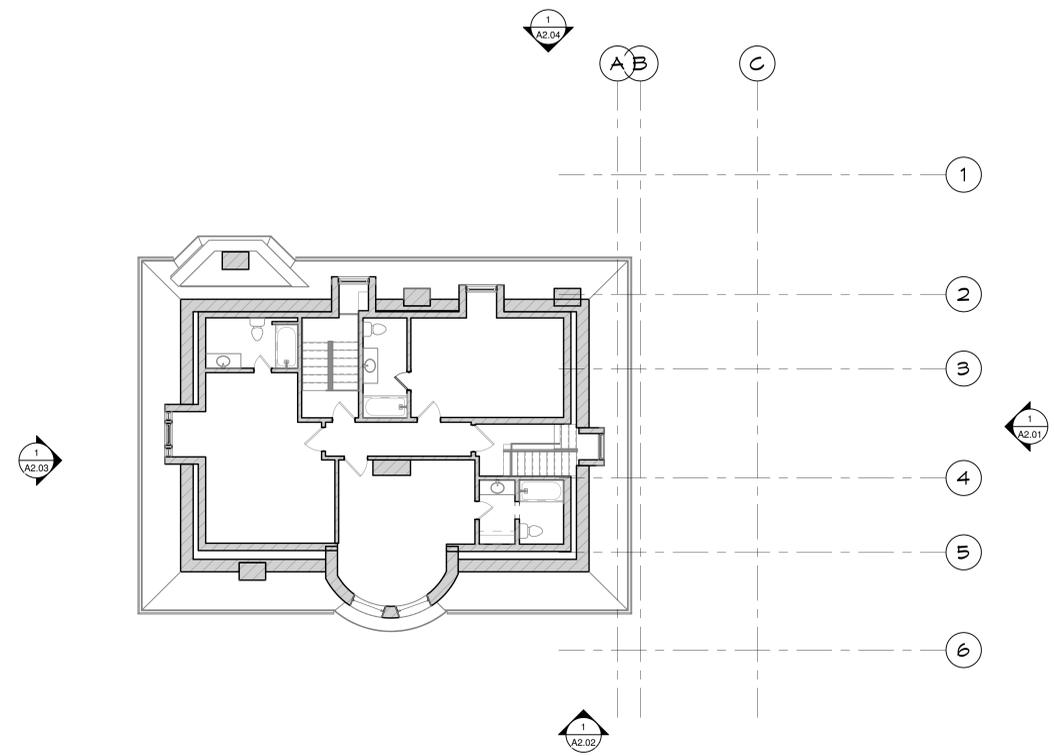
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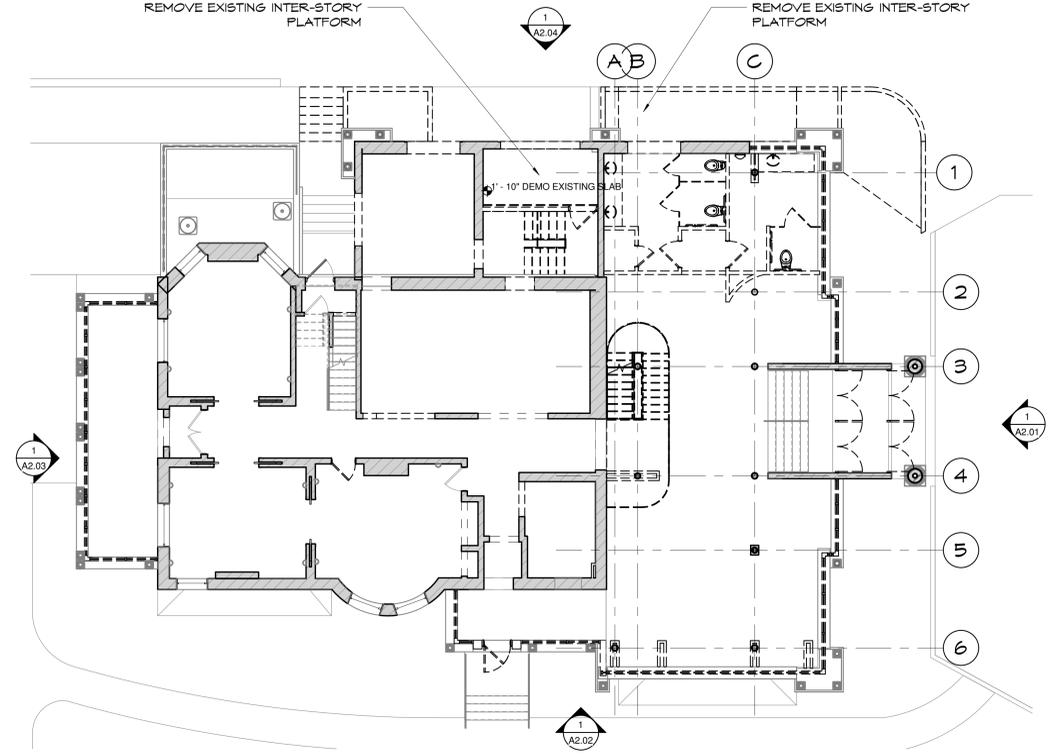
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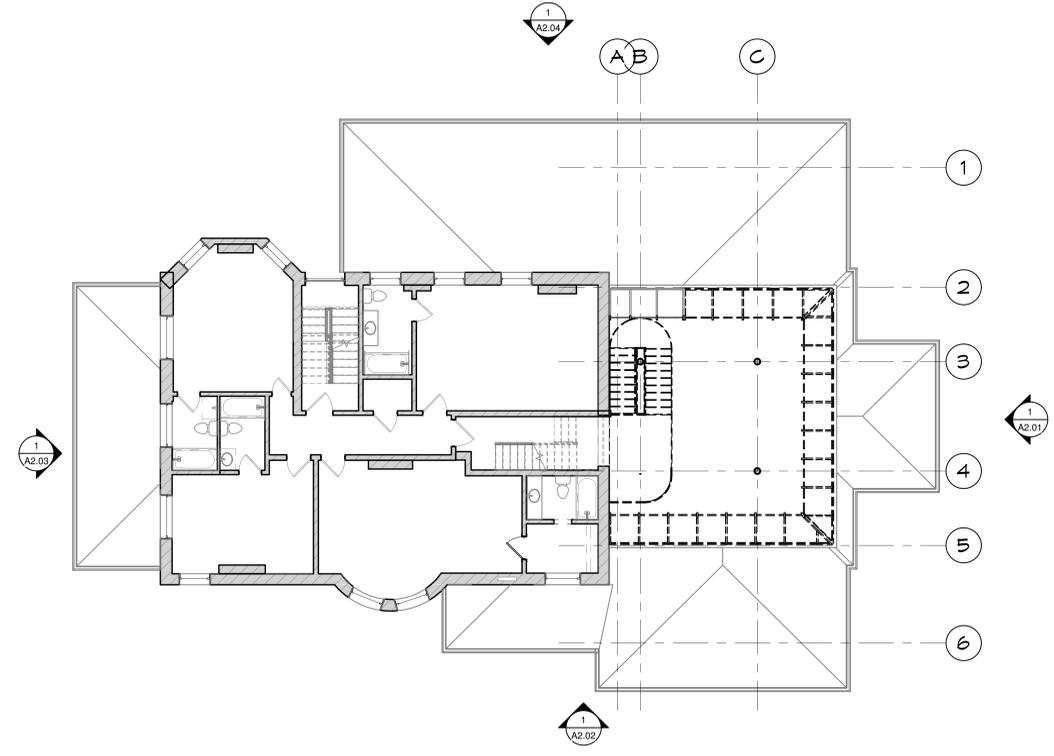
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11.9.2020	Issued for Zoning & Landmarks



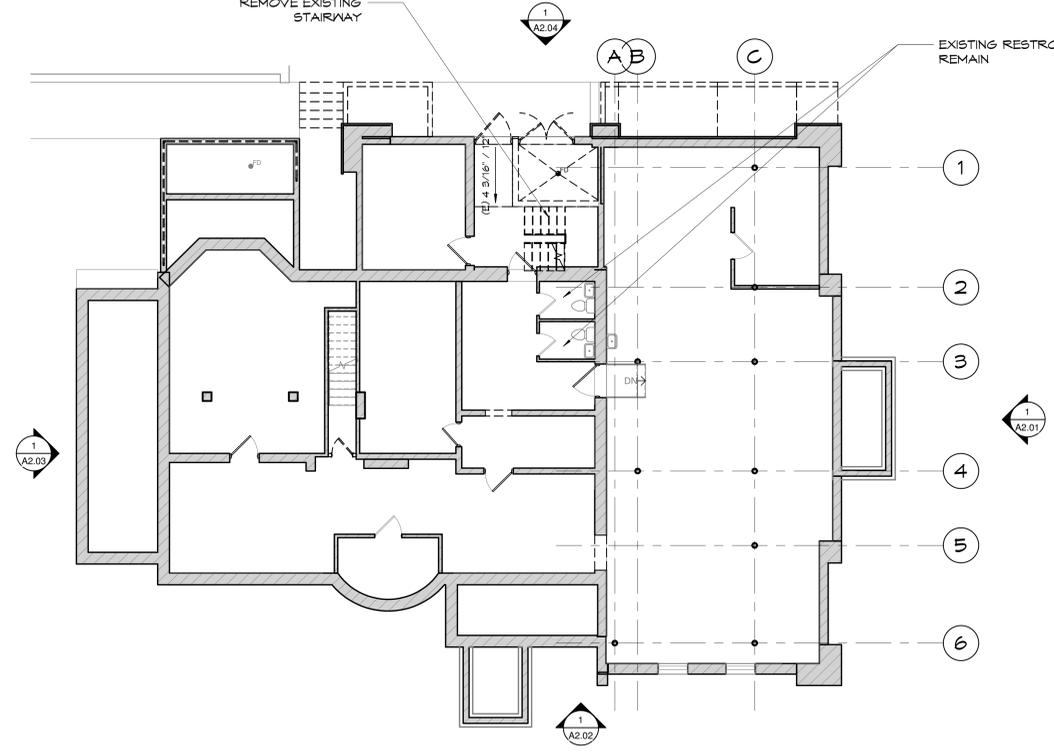
3 EXISTING THIRD FLOOR PLAN
A1.02 SCALE: 1/8" = 1'-0"



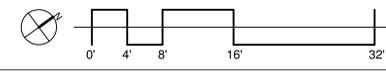
1 EXISTING FIRST FLOOR PLAN
A1.02 SCALE: 1/8" = 1'-0"



2 EXISTING SECOND FLOOR PLAN
A1.02 SCALE: 1/8" = 1'-0"



0 EXISTING BASEMENT PLAN
A1.02 SCALE: 1/8" = 1'-0"



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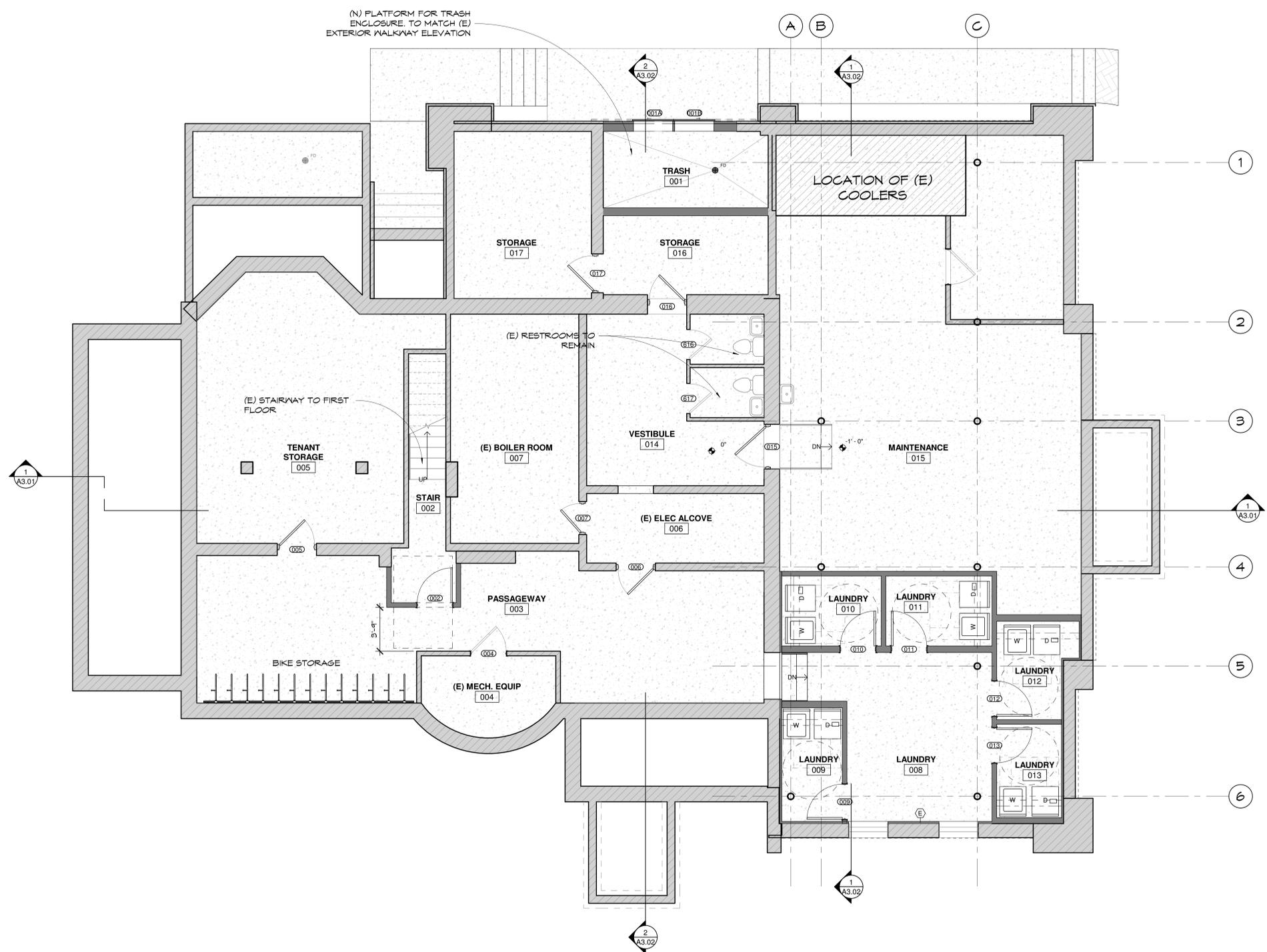
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DEMOLITION FLOOR PLANS

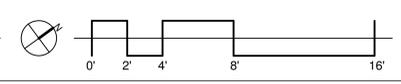
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1
 A1.10 PROPOSED BASEMENT PLAN
 SCALE: 1/4" = 1'-0"



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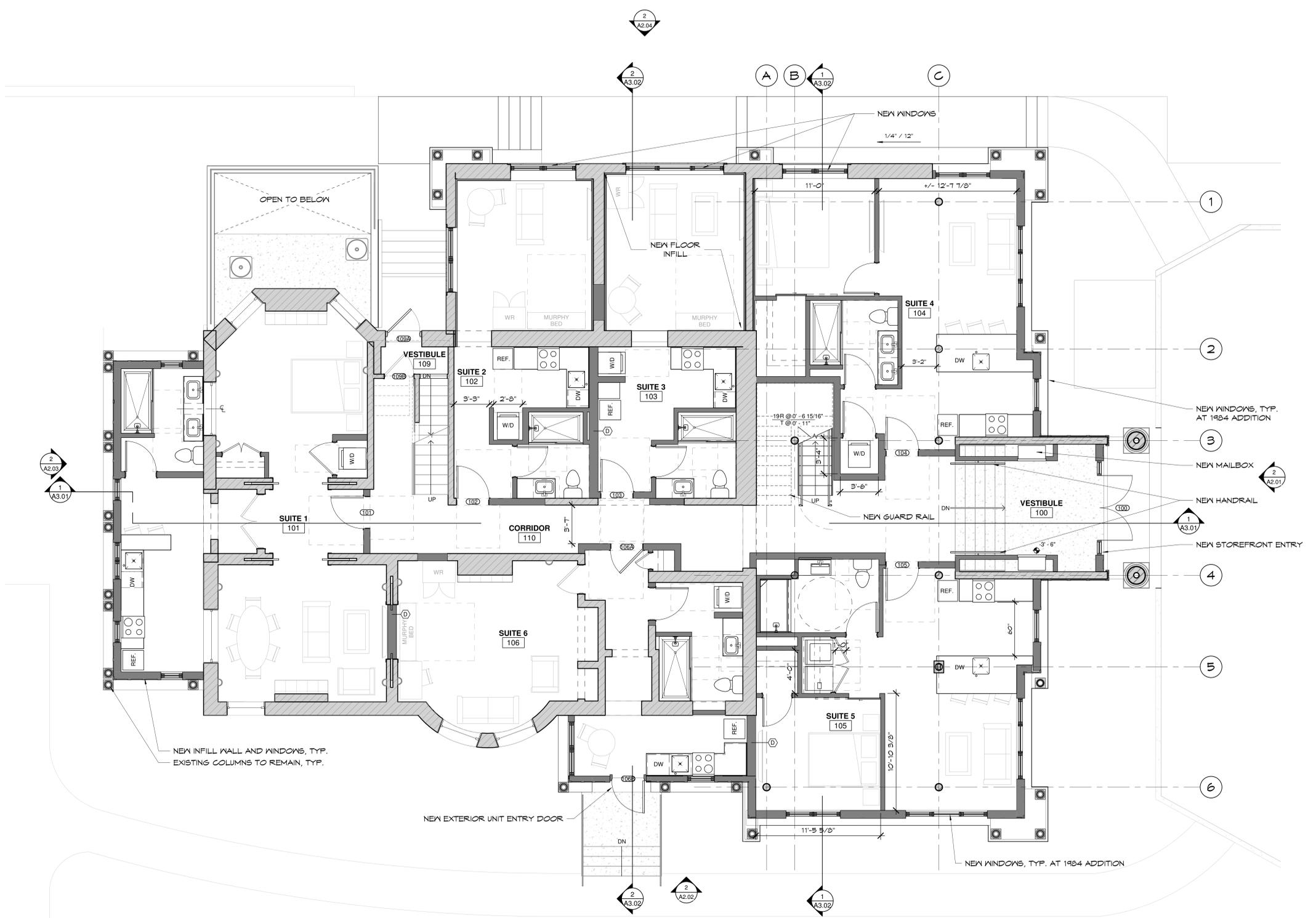
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BASEMENT PLAN **A1.10**

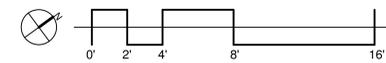
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1
A1.11 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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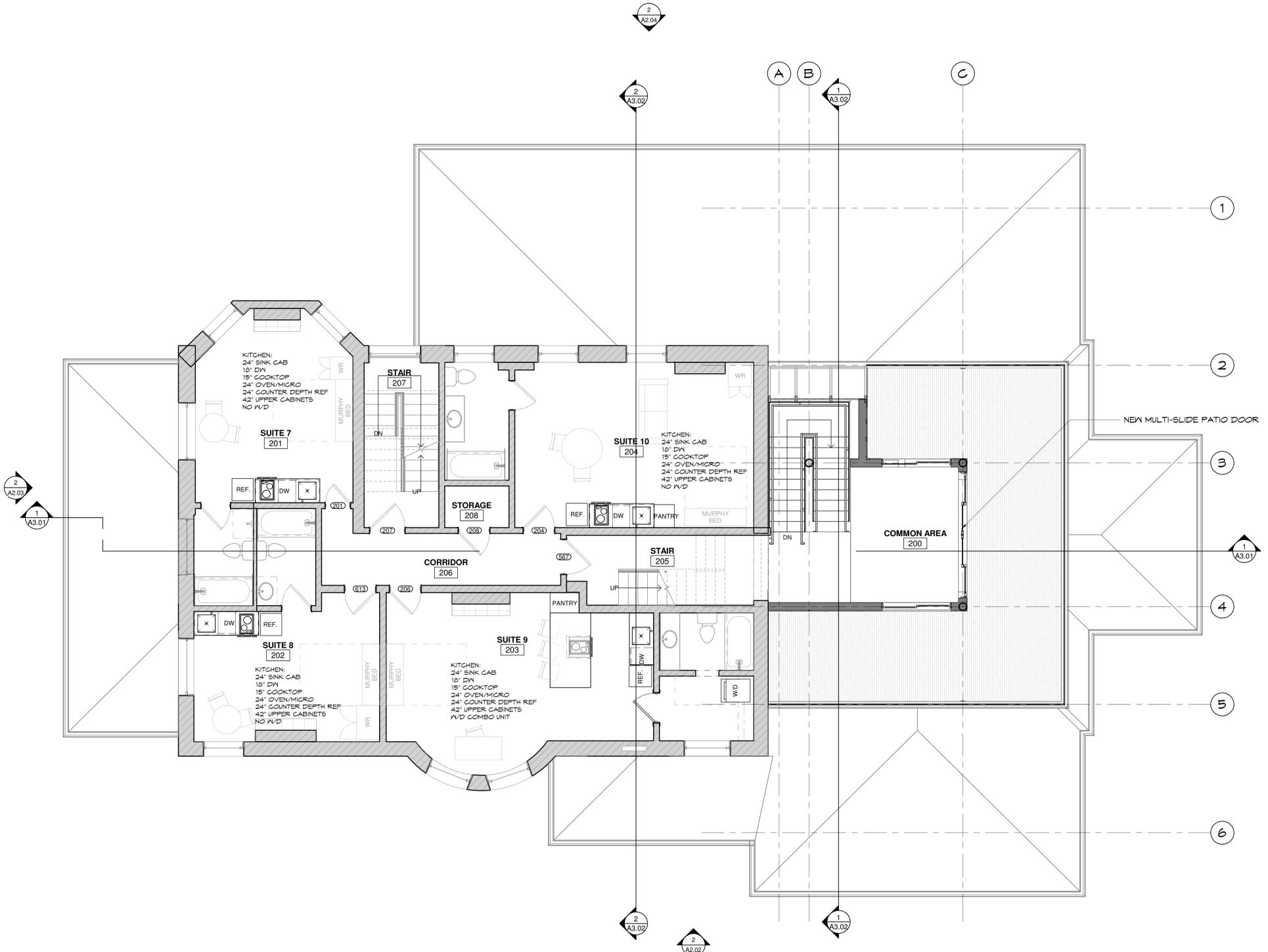
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FIRST FLOOR PLAN **A1.11**

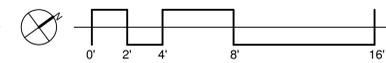
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1
A1.12 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



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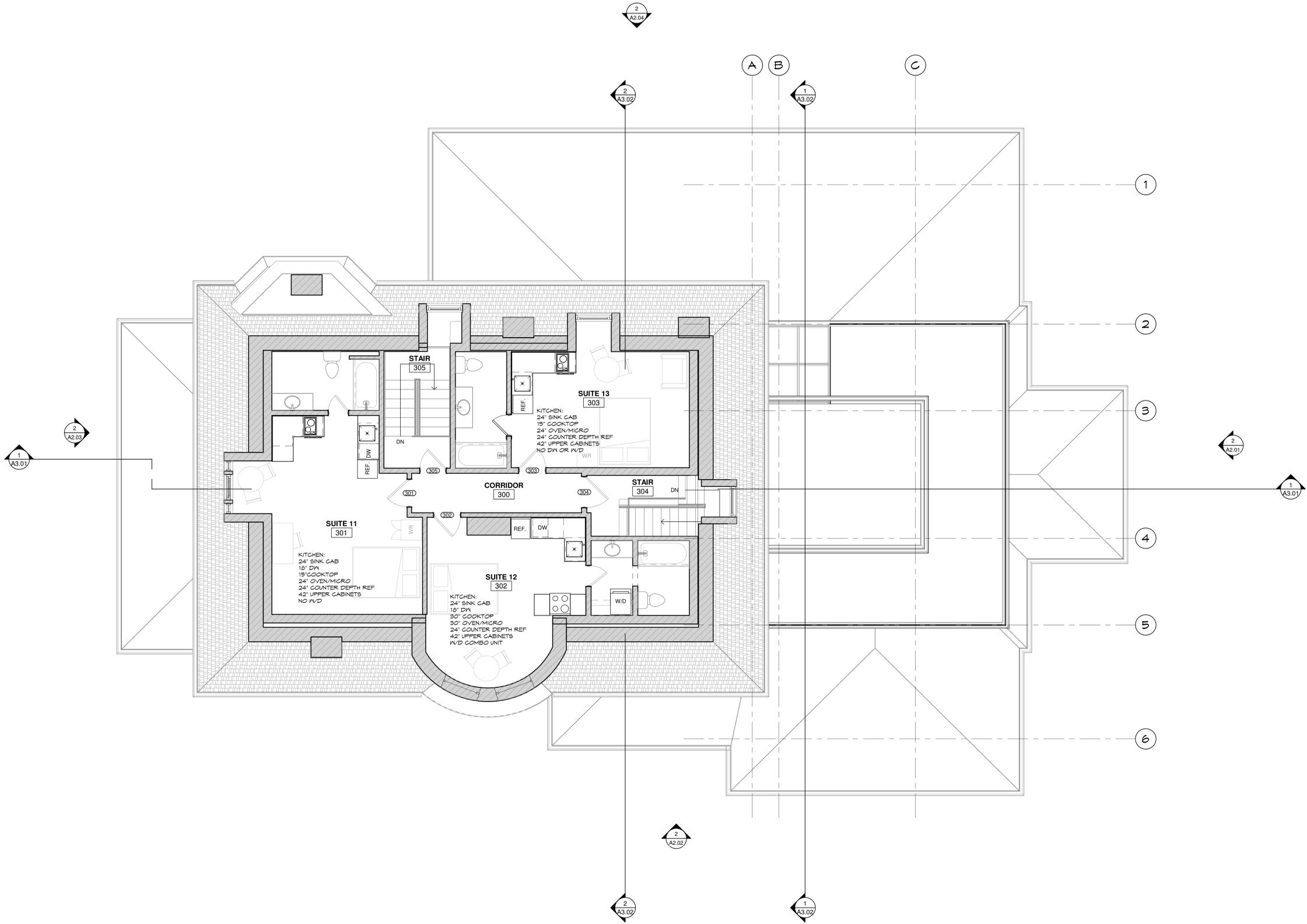
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SECOND FLOOR PLAN A1.12

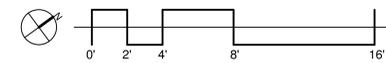
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1 PROPOSED THIRD FLOOR PLAN
A1.13 SCALE: 1/4" = 1'-0"



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EXTERIOR FINISH SCHEDULE						
KEY	#	MATERIAL	MANUFACTURER	STYLE	COLOR	NOTES
CON	1	CONCRETE	-	-	-	
FOP	1	FIBER CEMENT PANEL	JAMES HARDIE	SMOOTH FINISH	ARCH. TO SELECT FROM MFG'S FULL RANGE	
FCT	1	FIBER CEMENT TRIM	JAMES HARDIE	5/4, SMOOTH FINISH	ARCH. TO SELECT FROM MFG'S FULL RANGE	
MASN	1	EXISTING STONE	-	COURSED ASHLAR	-	EXISTING TO REMAIN
MASN	2	EXISTING STONE	-	SMOOTH	-	EXISTING TO REMAIN
MTL	1	PREFINISHED BRAKE METAL	-	-	TO MATCH FIBER CEMENT	AT COPING & TRIM PIECES
ROOF	1	EXISTING ASPHALT SHINGLE ROOF	-	-	-	EXISTING TO REMAIN
ROOF	2	EXISTING MEMBRANE ROOF	-	-	-	EXISTING TO REMAIN
ST	1	EXISTING STUCCO	-	-	-	EXISTING TO REMAIN
ST	2	STUCCO	-	MATCH ST-1	MATCH ST-1	AT NEW WINDOW OPENINGS
STF	1	ALUMINUM STOREFRONT	KAWNEER	-	ARCH. TO SELECT FROM MFG'S FULL RANGE	
WIN	1	WINDOW FRAME	PELLA	IMPERVIA SERIES	BROWN	

GENERAL NOTES - GLAZING

- ALL GLAZING TO BE INSTALLED PER OBC SECTION 2406.
- ALL SAFETY GLAZING TO BE IDENTIFIED PER OBC 2406.9 REQUIREMENTS.
- ALL TEMPERED GLAZING TO MEET OR EXCEED ANSI Z 97.1 STANDARDS CATEGORY A OR CPSC 16 CFR 1201 STANDARD CATEGORY II.

LEGEND

① TEMPERED GLAZING

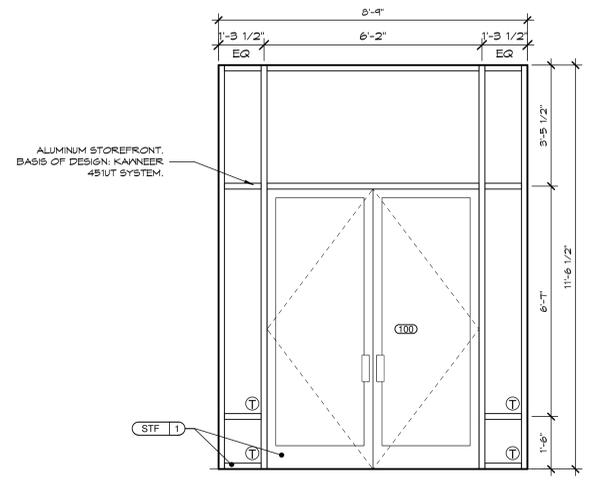
GENERAL NOTES - WINDOWS

- BASIS OF DESIGN: PELLA IMPERVIA SERIES
- WINDOW DIMENSIONS ARE R.O., TYP.
- REFER TO LINTEL & HEADER SCHEDULE IN STRUCTURAL DRAWINGS.
- REFER TO DOOR SCHEDULE FOR STOREFRONT INFORMATION, ARCHITECT TO SELECT STOREFRONT COLOR FROM MANUFACTURER'S FULL RANGE.
- REFER TO FLOOR PLANS FOR DOOR SWING DIRECTION.
- 3/4" MAX THRESHOLD AT PATIO DOORS, WHERE APARTMENT UNIT PATIO DOORS EXIT TO EXTERIOR SURFACE THAT IS PERVIOUS, INCLUDING BUT NOT LIMITED TO COMPOSITE DECKS, THE DECKING MUST BE MAINTAINED TO WITHIN 1/2" OF THE INTERIOR FLOOR LEVEL. WHERE APARTMENT UNIT PATIO DOORS EXIT TO EXTERIOR SURFACE THAT IS IMPERVIOUS, INCLUDING BUT NOT LIMITED TO CONCRETE PATIOS, THE CONCRETE PATIO MAY BE A MAXIMUM OF 4" STEP FROM THE INTERIOR FLOOR LEVEL.
- PAINTED, INTERIOR WOOD SILLS TYP AT ALL APT. WINDOWS.
- CASEMENT OPENING DIRECTION MAY VARY. REFER TO ELEVATIONS.

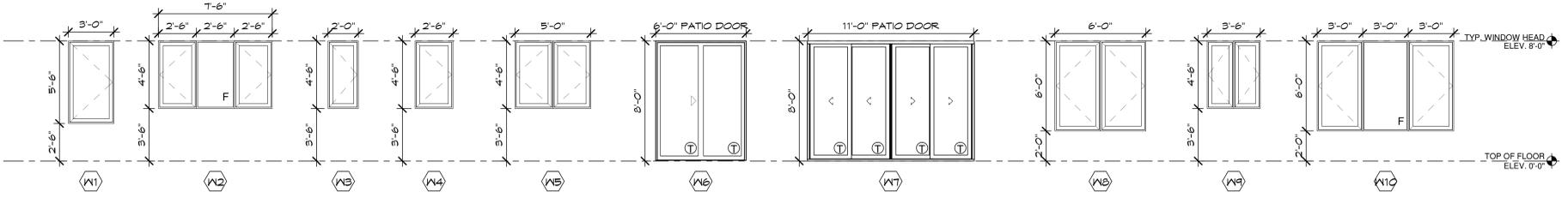
LEGEND

F - FIXED
> - OPERABLE

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1 ENTRY STOREFRONT
A2.00 SCALE: 1/2" = 1'-0"



WINDOW TYPE SCHEDULE



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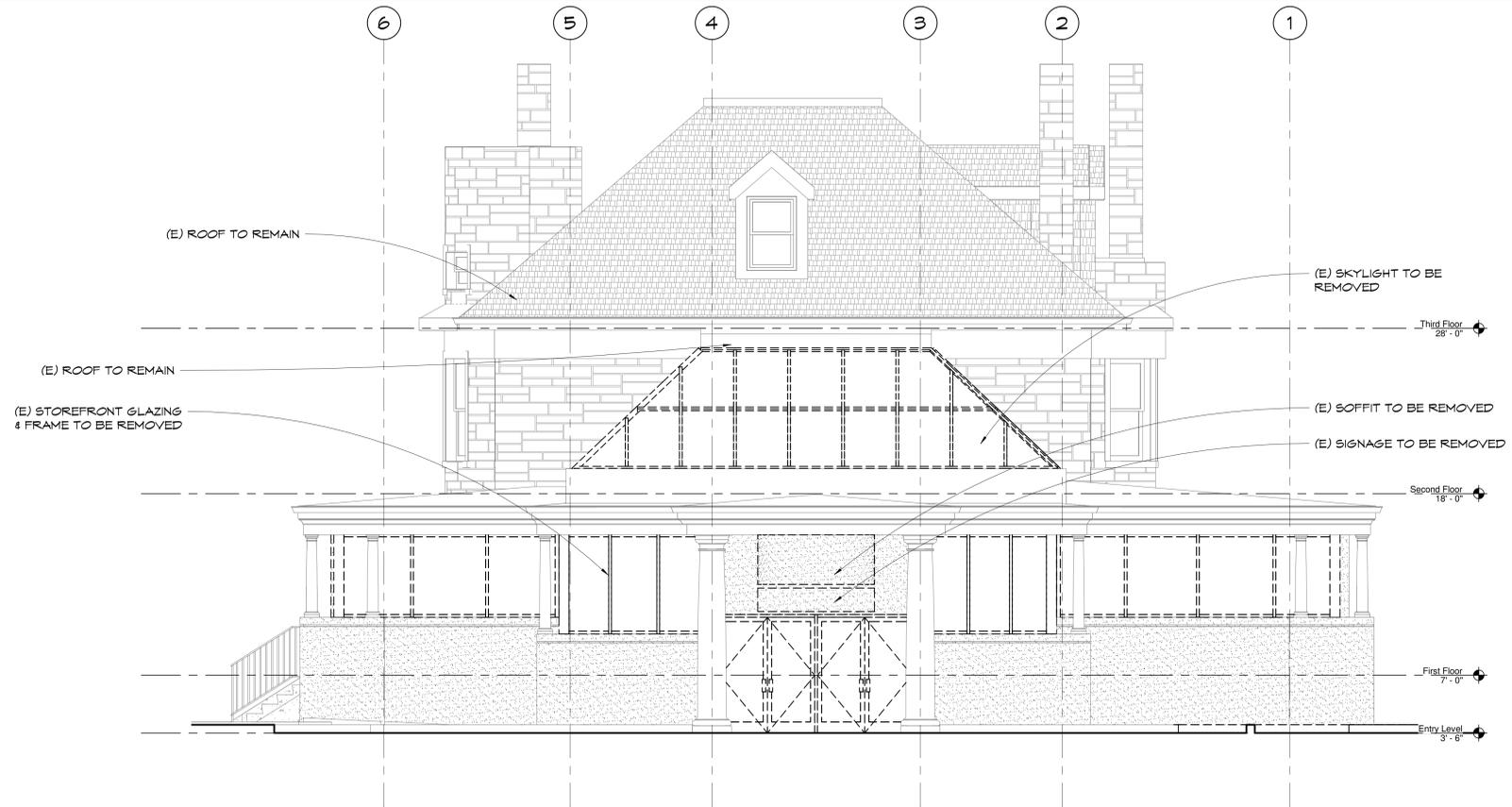
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1 EXISTING NE ELEVATION
A2.01 SCALE: 1/4" = 1'-0"



2 PROPOSED NE ELEVATION
A2.01 SCALE: 1/4" = 1'-0"



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Cornell Murray Partners LLC

Washington Inn Suites
2203 Cornell Rd.
Cleveland, OH 44106
LDA Project No. 20.23

NORTH-EAST EXTERIOR ELEVATIONS **A2.01**

KEYED NOTES SPECIFIC TO THIS SHEET

REFERENCED BY THE SYMBOL
TYPICAL UNLESS NOTED OTHERWISE

DATE DESCRIPTION

9.9.2020 Schematic Design
11.9.2020 Issued for Zoning & Landmarks



1 EXISTING SE ELEVATION
A2.02 SCALE: 1/4" = 1'-0"



2 PROPOSED SE ELEVATION
A2.02 SCALE: 1/4" = 1'-0"



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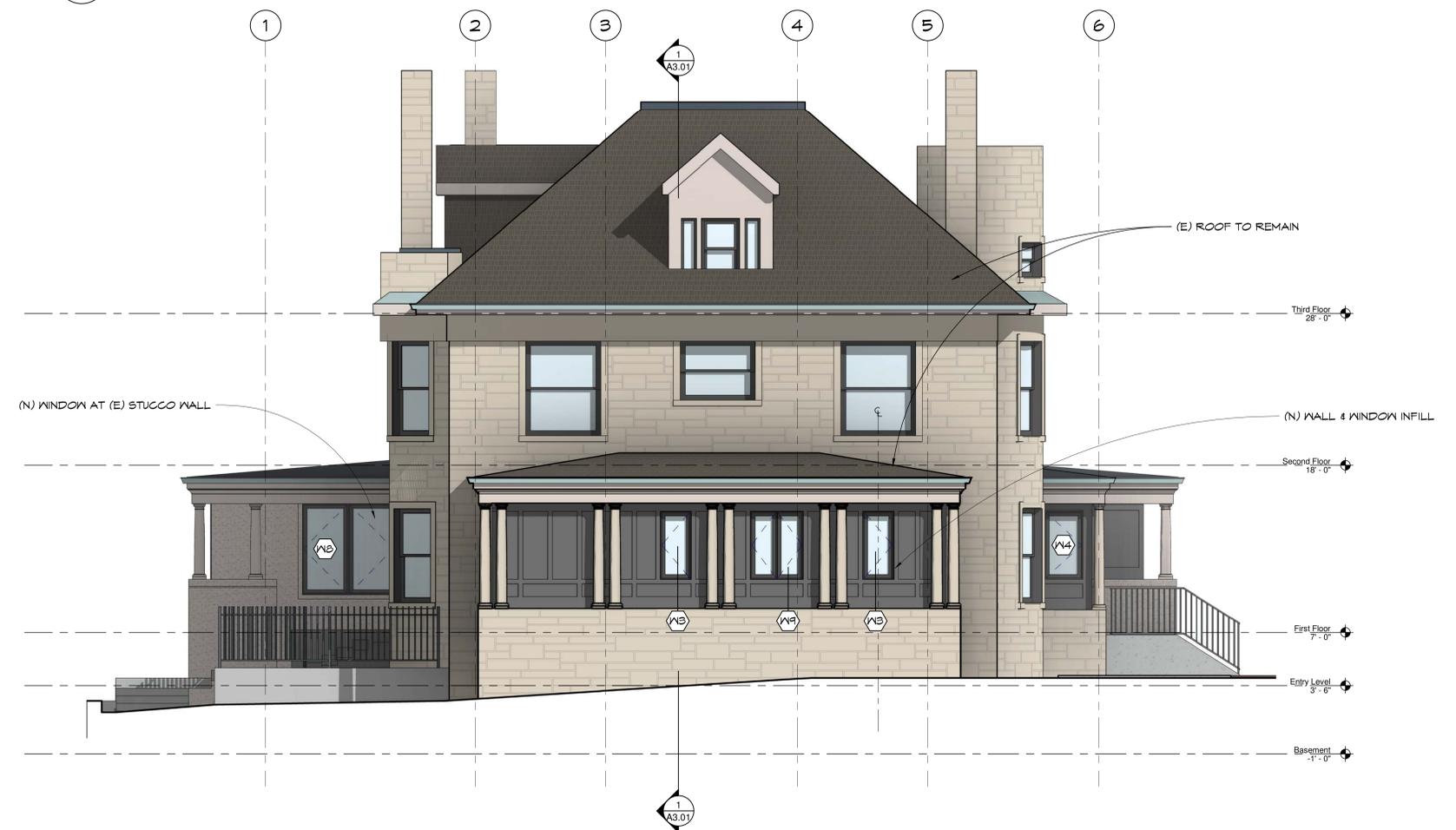
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SOUTH-EAST EXTERIOR ELEVATIONS **A2.02**

KEYED NOTES SPECIFIC TO THIS SHEET
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 TYPICAL UNLESS NOTED OTHERWISE

DATE	DESCRIPTION
9.9.2020	Schematic Design
11.9.2020	Issued for Zoning & Landmarks



1 EXISTING SW ELEVATION
 A2.03 SCALE: 1/4" = 1'-0"



2 PROPOSED SW ELEVATION
 A2.03 SCALE: 1/4" = 1'-0"



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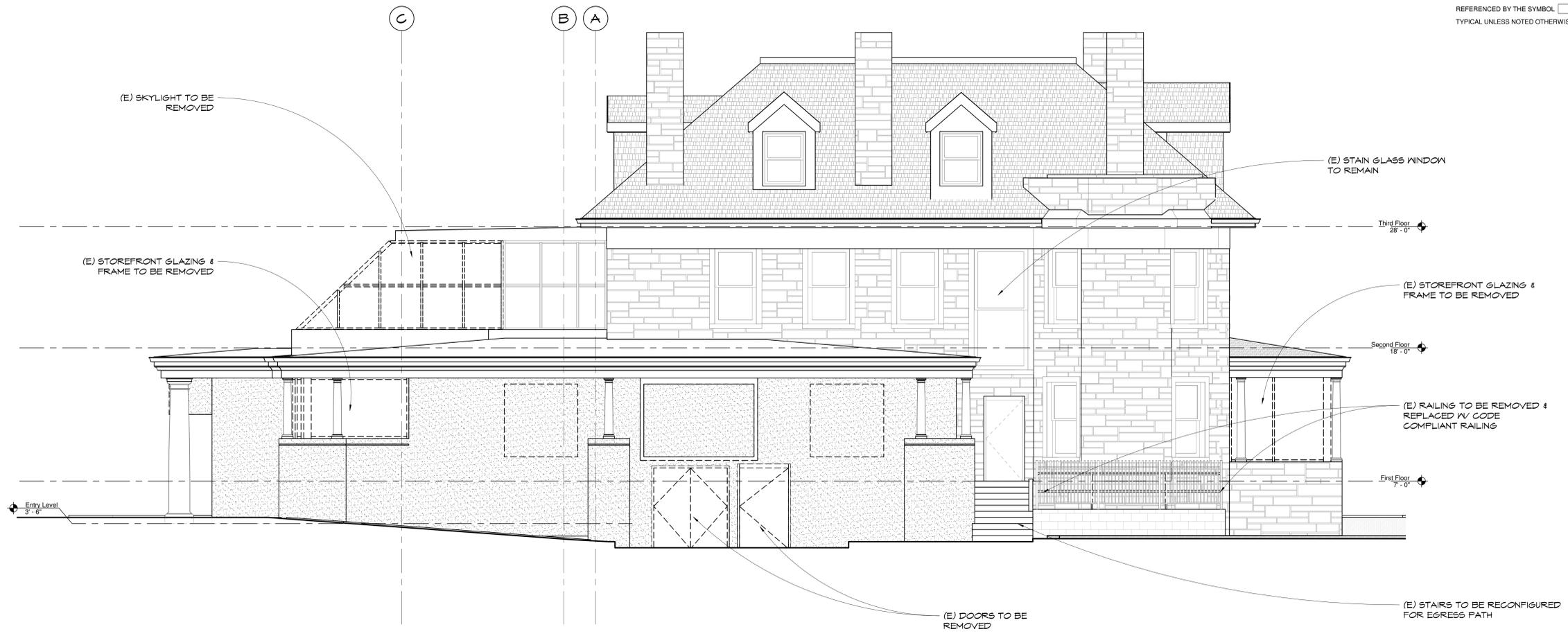
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SOUTH-WEST EXTERIOR ELEVATIONS A2.03

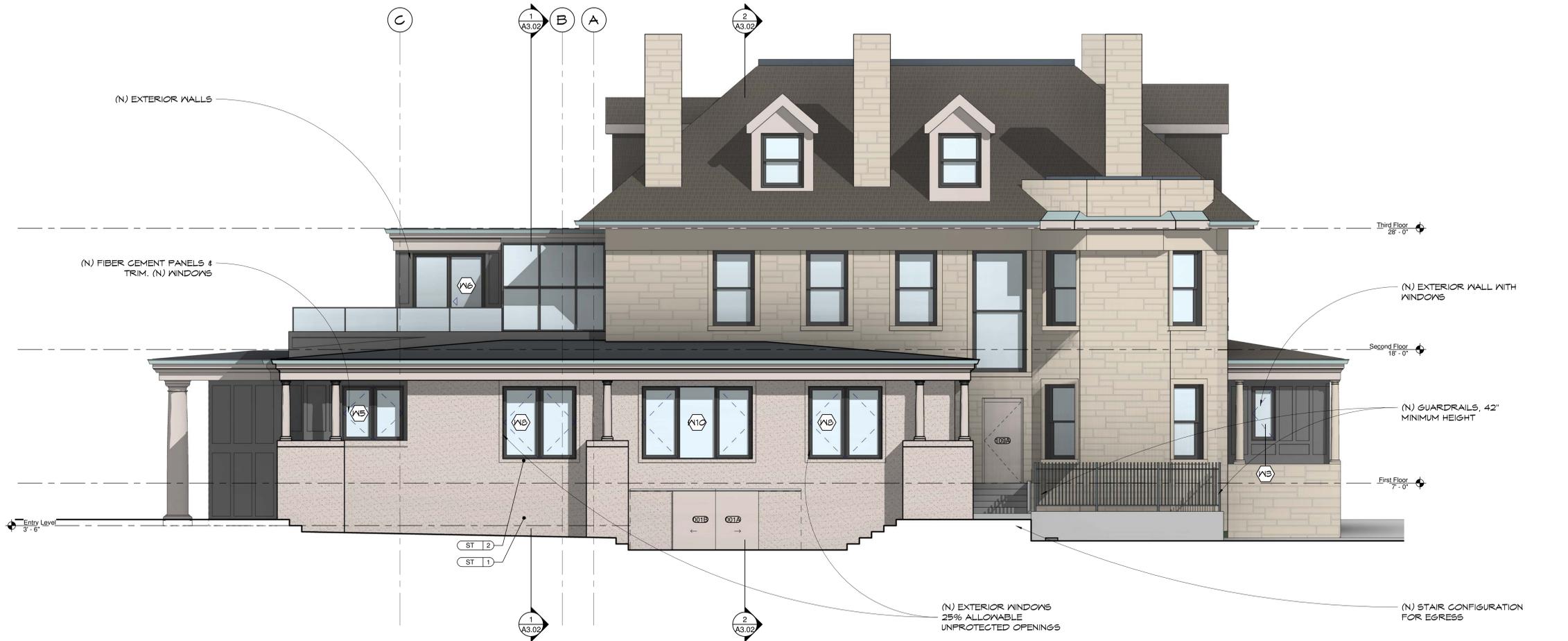
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DATE	DESCRIPTION
9.9.2020	Schematic Design
11.9.2020	Issued for Zoning & Landmarks



1 A2 EXISTING NW ELEVATION
A2.04 SCALE: 1/4" = 1'-0"



2 A2 PROPOSED NW ELEVATION
A2.04 SCALE: 1/4" = 1'-0"



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NORTH-WEST EXTERIOR ELEVATIONS **A2.04**

DATE	DESCRIPTION
9.9.2020	Schematic Design
11.9.2020	Issued for Zoning & Landmarks

LEGEND

--- INDICATES AIR/MOISTURE BARRIER, REFER TO NOTES.

(X) REFER TO FLOOR TYPE & ROOF TYPE ASSEMBLY SCHEDULES

(EW | X) REFER TO EXTERIOR WALL TYPE LEGEND

GENERAL NOTES - WALL SECTIONS

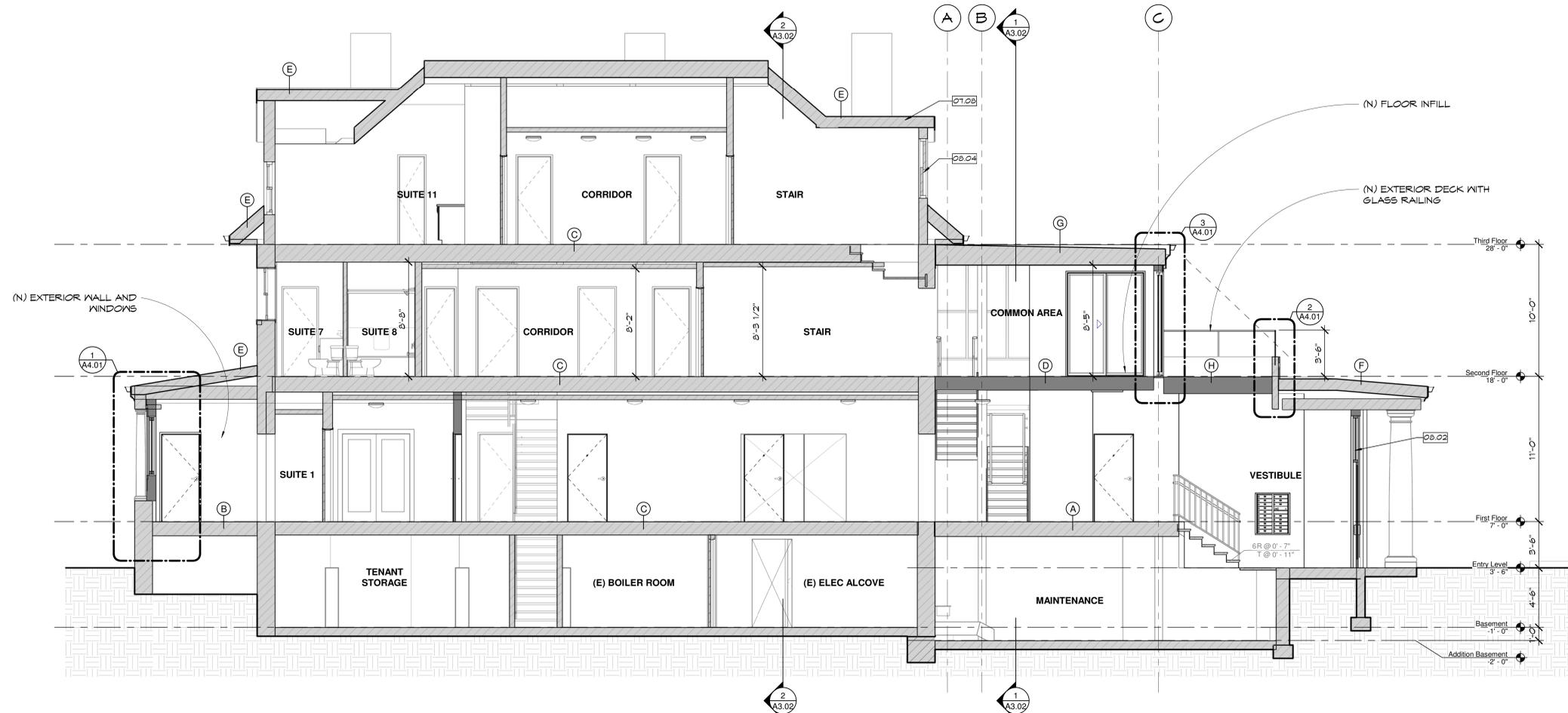
- COORDINATE WITH CONSTRUCTION TYPES SHEET.
- INSTALL ZIP SHEATHING ONLY AT WOOD FRAMING. ZIP SHEATHING SHALL NOT BE INSTALLED OVER CONCRETE STRUCTURE.
- ALL SLEEPERS UNDER COMPOSITE DECKING TO BE EXTERIOR FIRE RETARDANT TREATED WOOD, FRX, OR APPROVED EQUAL.

KEYED NOTES SPECIFIC TO THIS SHEET

REFERENCED BY THE SYMBOL

TYPICAL UNLESS NOTED OTHERWISE

07.03 EXISTING ROOF TO REMAIN.
08.02 ALUMINUM STOREFRONT, BASIS OF DESIGN: KAWNEER 451UT SYSTEM.
08.04 EXISTING WINDOW TO REMAIN.



1 A3.01 A3 LONGITUDINAL BUILDING SECTION
SCALE: 1/4" = 1'-0"

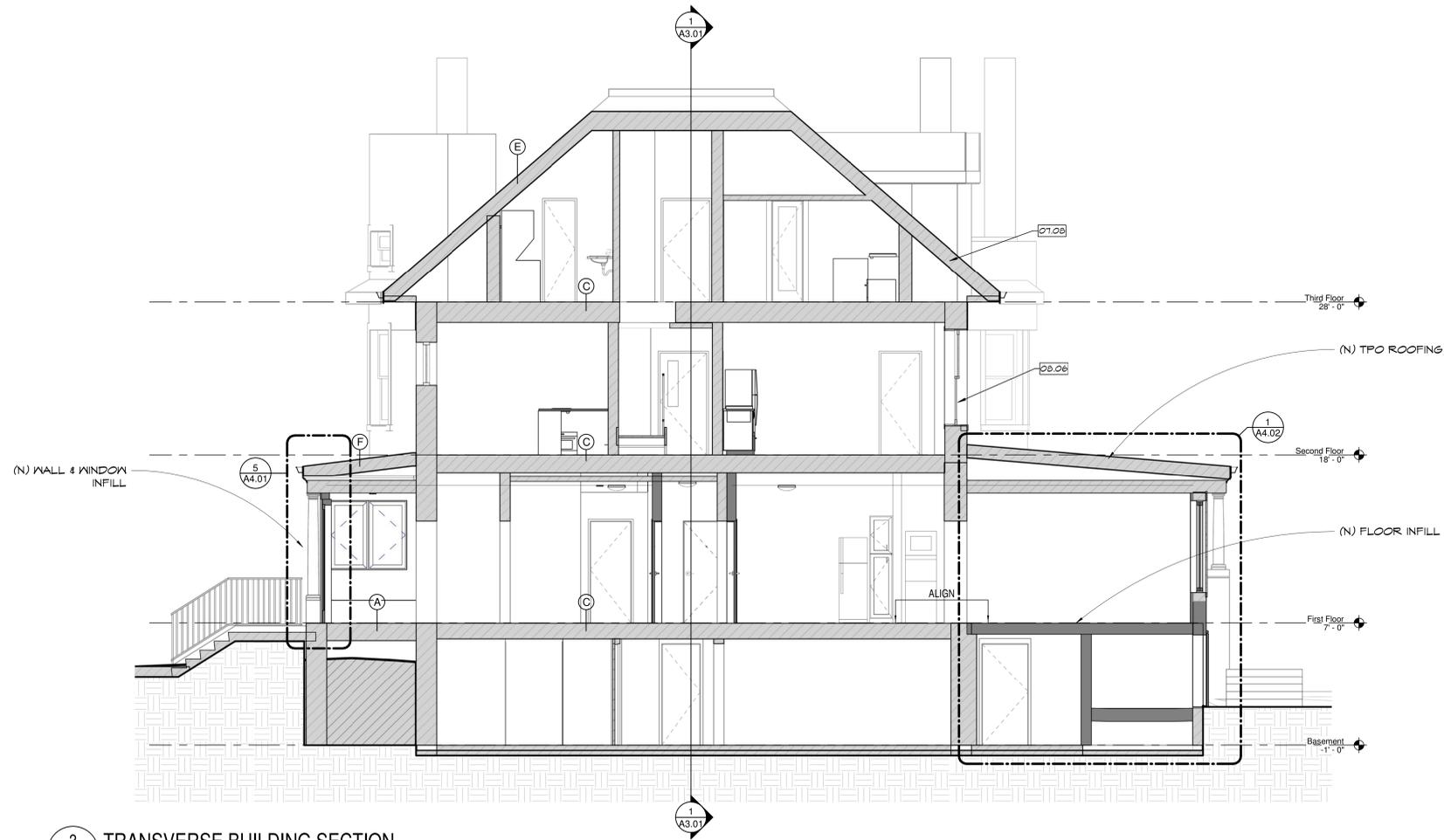


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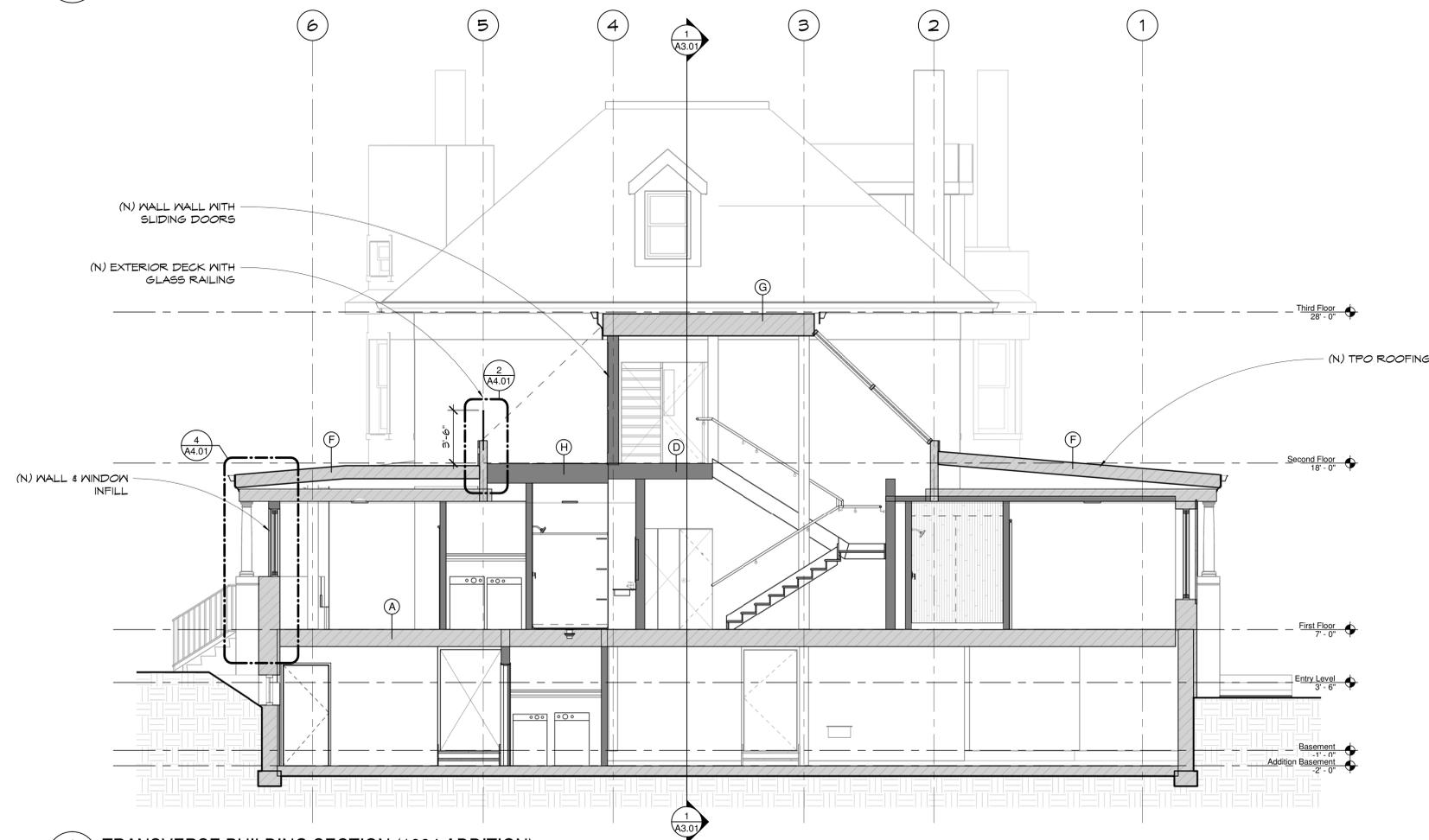
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2 TRANSVERSE BUILDING SECTION
A3.02 SCALE: 1/4" = 1'-0"



1 TRANSVERSE BUILDING SECTION (1984 ADDITION)
A3.02 SCALE: 1/4" = 1'-0"

LEGEND
 --- INDICATES AIR/MOISTURE BARRIER. REFER TO NOTES.
 (X) REFER TO FLOOR TYPE & ROOF TYPE ASSEMBLY SCHEDULES
 (EW X) REFER TO EXTERIOR WALL TYPE LEGEND

GENERAL NOTES - WALL SECTIONS
 1. COORDINATE WITH CONSTRUCTION TYPES SHEET.
 2. INSTALL ZIP SHEATHING ONLY AT ROOF FRAMING. ZIP SHEATHING SHALL NOT BE INSTALLED OVER CONCRETE STRUCTURE.
 3. ALL SLEEPERS UNDER COMPOSITE DECKING TO BE EXTERIOR FIRE RETARDANT TREATED WOOD, FRX, OR APPROVED EQUAL.

KEYED NOTES SPECIFIC TO THIS SHEET
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 07.08 EXISTING ROOF TO REMAIN.
 08.06 NEW FIBERGLASS WINDOW.

DATE	DESCRIPTION
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Washington Place

BISTRO

ARIS
800-347-3778

Cleveland Landmarks Commission

Landmark Nomination



January 14, 2021

January 14, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Section 106 Environmental Review



January 14, 2021

Section 106 Environmental Review

January 14, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Meeting Minute Approvals



January 14, 2021

Meeting Minutes Approval

January 14, 2021



NOTHING SCHEDULED TODAY

Cleveland Landmarks Commission

Administrative Reports



January 14, 2021

Cleveland Landmarks Commission

Adjournment



January 14, 2021

Cleveland Landmarks Commission



January 14, 2021